

**SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION
Encroachment Permit**

Permit No : 218468

Permit Decision Date :
12/4/2018

Expiration Date : 12/4/2019

Type

Permit : DRIVEWAY -
COMMERCIAL

Location:

<u>District</u>	<u>Work County</u>	<u>Type</u>	<u>Route</u>	<u>Aux</u>	<u>Begin MP</u>	<u>End MP</u>
1	Lexington, SC	S-	1842	None	0.758	0.748

Contact Information

Applicant: Terminix

Phone:

Contact: Cecil Barber

Address: 3618 Fernandina Road,

City: Columbia

State: SC

Zip: 29210

Comments

3618 Fernandina Road Columbia SC 29210

Special Provisions:

0004 - SCDOT SHALL BE NOTIFIED WHEN WORK DEFINED IN THE PERMIT STARTS AS WELL AS WHEN THE WORK IS COMPLETED. REFERENCE SHALL BE MADE BY PERMIT NUMBER.

0005 - APPLICANT SHALL PROVIDE TO THE DEPARTMENT THE OPPORTUNITY OF ATTENDING ANY PRE-CONSTRUCTION MEETING PRIOR TO THE BEGINNING OF WORK.

0101 - SHOULDER SOD DESTROYED BY THIS INSTALLATION TO BE REPLACED FOR THE ENTIRE AREA. THE AREA SHALL BE RE-SHAPED AND ROLLED TO THE CROSS SECTION EXISTING PRIOR TO THIS WORK.

0113 - FIRE HYDRANTS SHALL BE PLACED A MINIMUM OF TEN (10) FEET FROM THE EDGE OF THE PAVEMENT AND/OR BEHIND DITCH LINES.

0120 - RESTORATION OF PAVEMENT, SHOULDERS, DITCHES, ETC., TO BE PERFORMED AS SOON AS POSSIBLE AFTER CONSTRUCTION, OR SCHEDULED SO THAT THE CONSTRUCTION IS NO FURTHER THAN 2,000 L.F. AHEAD OF COMPLETE RESTORATION.

0123 - ALL WORK PERFORMED IN CONNECTION WITH THIS PERMIT SHALL CONFORM TO THE SCDOT "A POLICY FOR ACCOMODATING UTILITIES ON HIGHWAY RIGHT-OF-WAY" MOST CURRENT EDITION.

0202 - PAVEMENT DESIGN SHALL BE AS SHOWN ON ATTACHED DOCUMENTATION

0207 - PIPE USED IN THIS INSTALLATION SHALL BE IN ACCORDANCE WITH

SCDOT SPECIFICATION SC-M-714 AND COMPLY WITH CURRENT SCDOT POLICY.

0208 - REINFORCED CONCRETE PIPE SHALL BE USED FOR DRIVEWAY DRAINAGE.

0301 - THE DITCHES AND/OR SHOULDERS DISTURBED DURING THE INSTALLATION SHALL BE RE-ESTABLISHED TO PROPER GRADE, ORIGINAL CROSS SECTION, STABILIZED, AND ALL DRAIN PIPES CLEARED.

0304 - PAVEMENT MARKINGS ALTERED DURING THIS INSTALLATION SHALL BE RESTORED BY THE APPLICANT.

0306 - TRAFFIC CONTROL, LIGHTS, SIGNS AND FLAG-MEN WILL BE FURNISHED BY APPLICANT AND WILL CONFORM TO PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

0307 - NO PART OF THE TRAVEL-WAY IS TO BE BLOCKED DURING CONSTRUCTION AND MAINTENANCE.

0308 - WORK SHALL NOT BE PERFORMED DURING THE HOURS OF 7-9 AM OR 4-6 PM.

0310 - FIELD CHANGES, IF NECESSARY, MUST BE APPROVED IN WRITING BEFORE ACTUAL CONSTRUCTION OF PROPOSED CHANGES.

0311 - SEDIMENT AND EROSION CONTROL DEVICES SHALL BE USED TO MINIMIZE THE MOVEMENT OF SEDIMENT.

0312 - THE PERMITTEE SHALL HOLD THE DEPARTMENT HARMLESS FOR DAMAGES TO BOTH UPSTREAM AND DOWNSTREAM PROPERTIES.

0316 - ALL NON-PERMITTED OBJECTS ON THE RIGHT-OF-WAY, WHICH MUST BE REMOVED, SHALL NOT BE REPLACED ON THE RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION OF THE DEPARTMENT.

0318 - THE APPLICANT SHALL BE RESPONSIBLE FOR IMMEDIATE REMOVAL OF SUCH TRAFFIC HAZARDS AS MUD, DEBRIS, LOOSE STONE, AND TRASH AS MAY BE WASHED OR SPILLED ON THE TRAVELED ROADWAY AS A RESULT OF THE PROPOSED WORK.

0320 - ALL DEBRIS TO BE CLEARED FROM THE RIGHTS-OF-WAY WITHIN TEN (10) DAYS.

9999 - See Attached for Additional Special Provisions

**Additional Special Provisions for
Application # 200058686**

1. SCDOT District Permit Office shall be notified prior to the start of work. A pre-construction meeting shall take place prior to any work being performed under this encroachment permit. Please contact Kristina Nobles at 803-737-3206 to set up the meeting.
2. All construction to be in accordance with the current *SCDOT Standard Specifications for Highway Construction*.
3. All trees/obstacles blocking sight distance within SCDOT ROW and the limits of the project shall be removed or adjusted as necessary.
4. All existing SCDOT Signs located within this project shall be replaced once construction is complete.
5. Provisions shall be made for temporary pavement markings immediately after completion of paving prior to opening to traffic.
 - a. Temporary pavement markings must be made to be retroreflective
6. All permanent pavement markings within SCDOT ROW shall be thermoplastic and installed according to current SCDOT Standards and Specifications. New asphalt surfaces must be in place a minimum of 7 days before application of thermoplastic pavement markings.
7. Work hour restrictions within SCDOT roadway(s) open to traffic and/or pedestrian area(s) are as follows:
 - a. **Monday through Friday:** No work may be completed between the hours of 7:00 a.m. to 9:00 a.m. and 4:00 p.m. to 6:00 p.m.
 - b. **Sundays and Holidays:** No work may be completed in the roadway or pedestrian areas unless otherwise noted or approved in writing by SCDOT.
 - c. Additional restrictions may apply based on traffic conditions. Extended work hours and workdays may be requested with a written request to the SCDOT District One Permits Office. This request must be submitted at least five (5) working days prior to the extended work periods.
8. Note: Existing ditch-lines and SCDOT drainage structures utilized within the limits of the project shall be cleaned of debris and sediment at the conclusion of construction activities.
9. A final inspection shall be performed with SCDOT once the project is complete. Please contact Kristina Nobles at 803-737-3206 to schedule the final inspection.
10. Minimum intersection sight distance, as shown on the approved plans/exhibit, shall be maintained indefinitely by applicant or any future property owner.
 - a. No obstructions to sight distance shall be placed, installed, or allowed within the "line of sight" as shown on approved plans/sight distance exhibit, including, but not limited to, vegetation, signs, vehicles, structures, etc.
 - b. SCDOT may require any sight distance obstructions be removed or modified in order to achieve and maintain adequate sight distance.



11. Any physical appurtenances installed under this approved permit shall be maintained indefinitely by the applicant, or subsequent property owners, so as to preserve the intended and safe traffic operations of the approved access.
 - a. Per the signed permit application included in this approved permit package, the maintenance of physical appurtenances shall be completed at the expense of the applicant and at the direction of SCDOT.
 - b. If desired or requested, the removal of any physical appurtenances installed under this approved permit shall be submitted for review by SCODT via a subsequent encroachment permit.
12. Applicant shall be responsible for ensuring all contractors and subcontractors are provided with a copy of this permit, all special provisions, and the approved plan set associated with this permit.

Applicant's Sig: _____ Title: _____

Application for Encroachment Permit

S.C. Department of Transportation
Form 637 (Rev 09/2015)

Contact Information

Applicant: TERMINIX SERVICE, INC.
Street: 3618 FERNANDINA ROAD

City: COLUMBIA
State: SC Zip Code: 29210
Phone: (803)736-4420 Fax:
Email: cbarber@trustterminix.com
Contact: Cecil Barber

Project Location

Primary County: Lexington

County	Road Name
Lexington	Fernandina Rd (S-1842)

1. Type of Encroachment: DRIVEWAY - COMMERCIAL

2 commercial driveway accesses to serve the Terminix Corporate Office (196 parking spaces) and demo of 4 existing driveways.

2. Description of Location:

3618 FERNANDINA ROAD
COLUMBIA, SC 29210

(Attach sketch indicating roadway features such as: pavement width, shoulder width, sidewalk and curb and gutter location, significant drainage structure, north arrow, right of way width, and location of the proposed encroachment with respect to the roadway centerline and the nearest intersecting road on the State system.)

*** REVIEW ATTACHED SPECIAL PROVISIONS
PRIOR TO BEGINNING WORK. ***

SCDOT

http://sp2.scdot.org/EncPermits/_layouts/15/scdot_encperappsp2/scdot...

Customer Agreement

3. The undersigned applicant hereby requests the SCDOT to permit encroachment on the SCDOT right of way as described herein. It is expressly understood that the encroachment, if and when constructed, shall be installed in accordance with the sketch attached hereto and made a part hereof. The applicant agrees to comply with and be bound by the SCDOT's "A Policy for Accommodating Utilities on Highways Rights of Way", "Standard Specifications for Highway Construction", the "General Provisions" and "Special Provisions", attached hereto or made a part hereof by reference, during the installation, operation and maintenance of said encroachment within the SCDOT's Right of Way. **DISCHARGES OF STORM WATER AND NON-STORM WATER:** Work within State Highway right-of-way shall be conducted in compliance with all applicable requirements of the National Pollutant Discharge Elimination System (NPDES) permit(s) issued to the Department of Transportation (Department), to govern the discharge of storm water and non-storm water from its properties. Work shall also be in compliance with all other applicable Federal, State and Local laws and regulations, and with the Department's Encroachment Permits Manual and encroachment permit. The encroachment permit will not be issued until the applicant has received an NPDES construction permit from SC Department of Health and Environmental Control.

The applicant agrees to comply with all current SCDOT Standards Specifications for Highway Construction including all Supplemental Technical Specifications. The applicant hereby further agrees, and binds his/her/its heirs, personal representatives, successors, assigns, to assume any and all liability for accidents or injuries to persons, or damage to property, including the highway, that may be caused by the construction, maintenance, use, moving or removing of the physical appurtenances contemplated herein, and the applicant agrees to indemnify and hold SCDOT harmless from and against any and all claims for personal injury and/or property damage which may be sustained by reason of the construction, maintenance or existence of said encroachment on the SCDOT's right of way.

Applicant's Name: Cecil Barber

Date: 7/30/18

(Please print or type)



For Office Use Only

For Office Use Only

In accordance with your request and subject to all the provisions, terms, conditions, and restrictions stated in the application and the general and special provisions attached hereto, the SCDOT hereby approves your application for an encroachment permit. This permit shall become null and void unless the work contemplated herein shall have been completed prior to: **04 DECEMBER 2019**

☐ See Attached Special Provision and/or Permit Requirements

NPDES Permit

No:



(SCDOT Approval)

(Date received by res. Maint. Eng.)

04 DECEMBER 2018
(Date)

(02 DPE)

General Provisions

Application for Encroachment Permit

General Provisions

1. **DEFINITIONS:** The word "Permittee" used herein shall mean the name of the person, firm, or corporation to whom this permit is addressed, his, her, its, heirs, personal representatives, successors and assigns. The word "DEPARTMENT" shall mean the South Carolina Department of Transportation.
2. **NOTICE PRIOR TO STARTING WORK:** Before starting the work contemplated herein within the limits of the highway right of way, the Department's Resident Maintenance Engineer in the county in which the proposed work is located shall be notified 24 hours in advance so that he may be present while the work is under way.
3. **PERMIT SUBJECT TO INSPECTION:** This permit shall be kept at the site of the work at all times while said work is under way and must be shown to any representative of the Department or law enforcement officer on demand.
4. **PROTECTION OF HIGHWAY TRAFFIC:** The applicant shall be responsible for the protection of the highway traffic at all times during the construction, maintenance, removing or moving of the encroachment permitted herein. Detours, barricades, warning signs and flagmen, as necessary, shall be provided by and at the expense of the Permittee and shall be in accordance with the "Manual on Uniform Traffic Control Devices" (MUTCD). The work shall be planned and carried out so that there will be the least possible inconvenience to the motoring public. The Permittee agrees to observe all rules and regulations of the Department while carrying on the work contemplated herein and take all other precautions that circumstances warrant.
5. **STANDARDS OF CONSTRUCTION:** All work shall conform to the Department's standards of construction and shall be performed in a workman-like manner. The applicant shall make adequate provisions for maintaining the proper drainage of the highway as it may be affected by the encroachment permitted herein. All work shall be subject to the supervision and satisfaction of the Department.
6. **FUTURE MOVING OF PHYSICAL APPURTENANCES:** If, in the opinion of the State Highway Engineer, it should ever become necessary to move or remove the physical appurtenances, or any part thereof contemplated herein, on account of change in location of the highway, widening of the highway, or for any other sufficient reason, such moving shall be done on demand of the Department at the expense of the Permittee.
7. **RESTORATION OF HIGHWAY FACILITIES UPON MOVING OR REMOVING OF PHYSICAL APPURTENANCES:** If, and when, the physical appurtenances contemplated herein shall be moved or removed, either on the demand of the Department or at the option of the Permittee, the highway and facilities shall immediately be restored to their original condition at the expense of the Permittee.
8. **COSTS:** All work in connection with the construction, maintenance, moving or removing of the physical appurtenances contemplated herein shall be done by and at the expense of the Permittee.
9. **ADDITIONAL PERMISSIONS:**
 - (a) It is distinctly understood that this permit does not in any way grant or release any rights lawfully possessed by the abutting property owners. The Permittee shall secure any such rights, as necessary, from said abutting property owners.
 - (b) The Permittee shall be responsible for obtaining all other approvals or permits necessary for installation of the encroachment from other government entities.

(c) There shall be no excavation of soil nearer than two feet to any public utility line or appurtenant facility except with the consent of the owner thereof, or except upon special permission of this Department after an opportunity to be heard is given the owner of such line or appurtenant facility.

10. **ADDITIONAL WORK PERFORMANCE:**

(a) All crossings over the highway shall be constructed in accordance with "Specifications for Overhead Crossings of Light and Power Transmission Lines and Telegraph Lines over each other and over Highway Rights of Way in South Carolina," as approved by the Public Service Commission of South Carolina and effective as of date of this permit.

(b) All tunneling, boring, or jacking shall be done in such a way as not to disturb the highway surfacing.

(c) No pavement shall be cut unless specifically authorized herein.

(d) No excavation shall be nearer than three feet to the edge of pavement unless specifically authorized herein.

(e) Underground facilities will be located at minimum depths as defined in the "Utility Accommodations Manual" for the transmittant, generally as follows: 4 feet minimum for hazardous or dangerous transmittant, 3 feet minimum for other lines. The Department may approve shallower depths if adequate protection is provided. Such approval must be obtained in writing.

(f) Service and other small diameter pipes shall be jacked, driven, or otherwise forced underneath the pavements on any surfaced road without disturbing the pavement. The section under the highway pavement and within a distance of three (3) feet on either side shall be continuous without joints.

11. **ACCESS:**

(a) Permittee is responsible for maintaining reasonable access to private driveways during construction.

(b) It is expressly provided that, with respect to any limited access highway, the Permittee shall not have or gain access from the main traveled way of the highway, or the on or off ramps to such facility, except upon approval by the Department.

12. **DRIVEWAYS:**

(a) The existing crown of the highway shall be continued to the outside shoulder line of the highway.

(b) If the driveway or approach is concrete pavement, the pavement shall be constructed at least 6 inches thick and with a minimum of class 2500 concrete. There shall be a bituminous expansion joint, not less than 3/4 inches in thickness, placed between the highway paving and the paving of the approach for the full width of the approach.

13. **BEAUTIFICATION:**

(a) All trees, plants, flowers, etc. shall be placed in accordance with the provisions specifically stipulated herein.

(b) All trees, plants, flowers, etc. shall be maintained by, and at the expense of, the Permittee and the provisions of this permit shall become null and void, if and when said Permittee ceases to maintain aid trees, plants, flowers, etc.

14. **AS-BUILT PLANS:**

(a) The applicant shall provide the Department with survey-quality as-built plans in accordance with the requirements set forth in the Department's "A Policy for Accommodating Utilities on Highway Rights of Way".

SCDOT ACCESS WAIVER

This form is a request for approval of waiver from the access guidelines found in SCDOT's *Access and Roadside Management Standards*. This form shall be accompanied by an Encroachment Permit Application.

Submitted By: Power Engineering, Company Date: 9/27/18

To: _____
Resident Maintenance Engineer

PROJECT CHARACTERISTICS

County: Lexington City: Columbia

Road/Route: (S-1842) Description of Location: Fernandina Road (3618)

Work Type: Removal of 4 existing driveways and installation of 2 new driveways

Type of Terrain: (Level) Rolling / Mountainous

Posted Speed Limit of Road: 35 (mph)

Average Daily Traffic of Road: _____

Driveway Classification:

- | | | | |
|-------------------------------------|--|---|---------------------------------------|
| <input type="checkbox"/> Low Volume | <input type="checkbox"/> Medium Volume | <input checked="" type="checkbox"/> High Volume | <input type="checkbox"/> Major Volume |
| 1-20 trips/day | 21-600 trips/day | 601-4,000 trips/day | >4,000 trips/day |
| 1-5 trips/hour | 6-60 trips/hour | 61-400 trips/hour | >400 trips/hour |

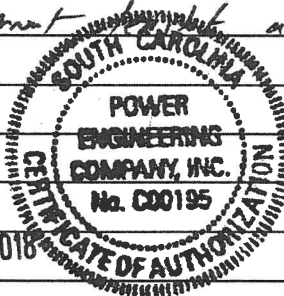
Site Land Use: Commercial Office

CHECK APPROPRIATE BOX(ES) FOR ACCESS WAIVER(S)

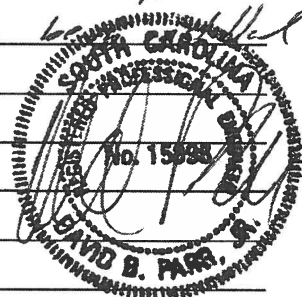
- | | |
|--|--|
| <input type="checkbox"/> Sight Distance | <input type="checkbox"/> Driveway Grade |
| <input checked="" type="checkbox"/> Driveway Spacing | <input type="checkbox"/> Driveway Width / Radius |
| <input type="checkbox"/> Corner Clearance | <input type="checkbox"/> Driveway Throat Length |
| <input type="checkbox"/> Driveway Location | <input type="checkbox"/> _____ |

DESCRIBE ELEMENT(S) FOR ACCESS WAIVER(S)

(Attach additional sheets as needed) 4 driveways that don't meet spacing or throat length are being removed and 2 driveways with better spacing and throat length are being installed



SEP 26 2018



JUSTIFICATION FOR ACCESS WAIVER(S)

(Attach additional sheets as needed) Improving the site by removing 2 driveways
The site now has 3 total buildings with 4 drives
The proposed site will have 1 building with 2
drives. The 2 new drives have a longer front fence
as well

DESCRIBE STEPS TO ELIMINATE ACCESS WAIVER(S), INCLUDE COST

(Attach additional sheets as needed) The site need 2 drives with the
spacing shown for semi-trucks to have proper access.

RECORD OF DECISION

Resident Maintenance Engineer

- ☐ Recommended
☐ Not Recommended

HQ Section Head/DEA

- ☒ Recommended
☐ Not Recommended

Other

D2 DPE

- ☒ Recommended
☐ Not Recommended

JUSTIFICATION FOR DENIAL OF ACCESS WAIVER

(Attach additional sheets as needed)

1/1 Robert Dahmian 2/8/19 Tyler Clark 2/8/19
(Resident Maintenance Engineer) (HQ Section Head/DEA) Other

cc:

- ☐ Resident Maintenance Engineer (RME)
☐ District Traffic Engineer (DTE)
☐ District Engineering Administrator (DEA)
☐ Director of Traffic Engineering
☐ _____
☐ _____

Central File

Final Decision

- ☒ Approved
☐ Denied

DRAINAGE STATEMENT

Project: Terminix Office Building
Owner: Terminix
Date: 7-25-18
Prepared by: POWER ENGINEERING COMPANY

Calculation Input:

Basin Size:
Pre Development: 1.68 AC ONSITE
Post Development: 0.41 AC ONSITE

Existing Site Conditions: COMMERCIAL
Proposed Improvements: COMMERCIAL
Existing Curve Number: 94
Post Developed Curve Number: 94

Calculation Results:

Drainage of 2, 10, and 25 year storm events to the right of way (respectfully)

PRE-DEVELOPMENT STORMS (CFS) = 8.36, 12.74 and 15.5
POST-DEVELOPMENT STORMS (CFS) = 2.04, 3.11 and 3.79

Based on information available to me and the results of a sound engineering analysis, It is my professional opinion that this plan complies with applicable State and Local storm water management requirements, and that the properties downstream, including SCDOT right of way, will not be significantly affected by changes in storm water volume resulting from the 10-year storm event, provided the proposed drainage improvements are constructed in accordance with the approved plans and are properly maintained.



Signature

7-25-18

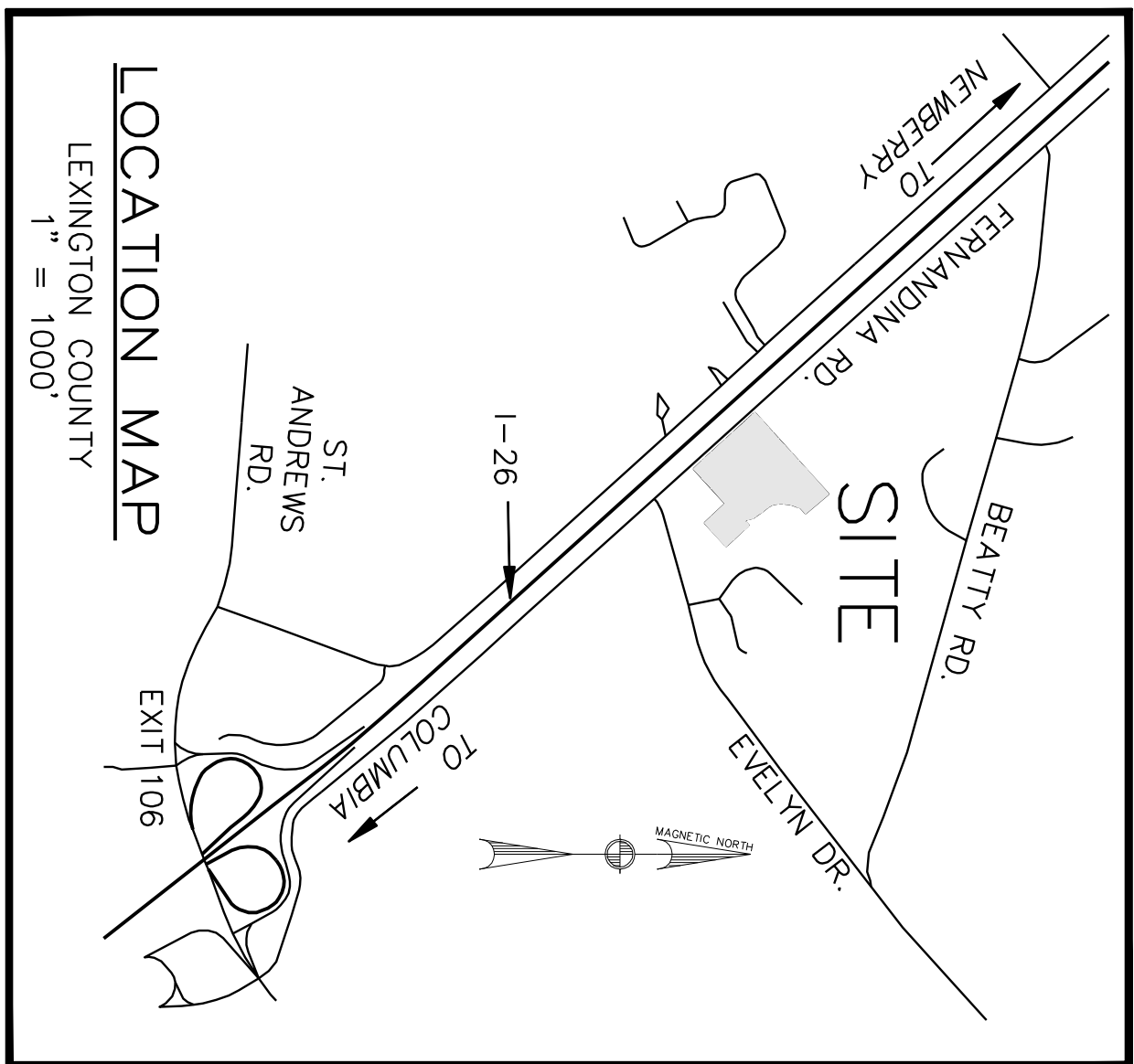
Date

Registered Professional Engineer No.

TERMINIX CORPORATE OFFICE

3618 FERNANDINA ROAD
COLUMBIA, SC 29210
PHONE: (877) 855-4093

JULY 2018
(REVISED OCTOBER 2018)

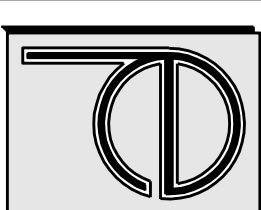


SHEET NO.	TITLE
C1.0	EXISTING CONDITIONS
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	EROSION CONTROL PLAN - PHASE 1
C4.1	EROSION CONTROL PLAN - PHASE 2
C5.0	GRADING AND DRAINAGE PLAN
C5.1	STORM DRAIN PROFILES
C6.0	UTILITY PLAN
C7.0-C7.5	MISCELLANEOUS DETAILS

I (WE) HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND I (WE) ARE RESPONSIBLE FOR THE LAND DISTURBANCE AND RELATED MAINTENANCE HEREOF. LEXINGTON COUNTY AUTHORITIES WILL BE ALLOWED TO ENTER THE PROJECT SITE FOR THE PURPOSE OF ON-SITE INSPECTIONS.

DATE _____ PERMIT APPLICANT _____
CECIL BARBER FOR TERMINIX

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF THE TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCRI00000.

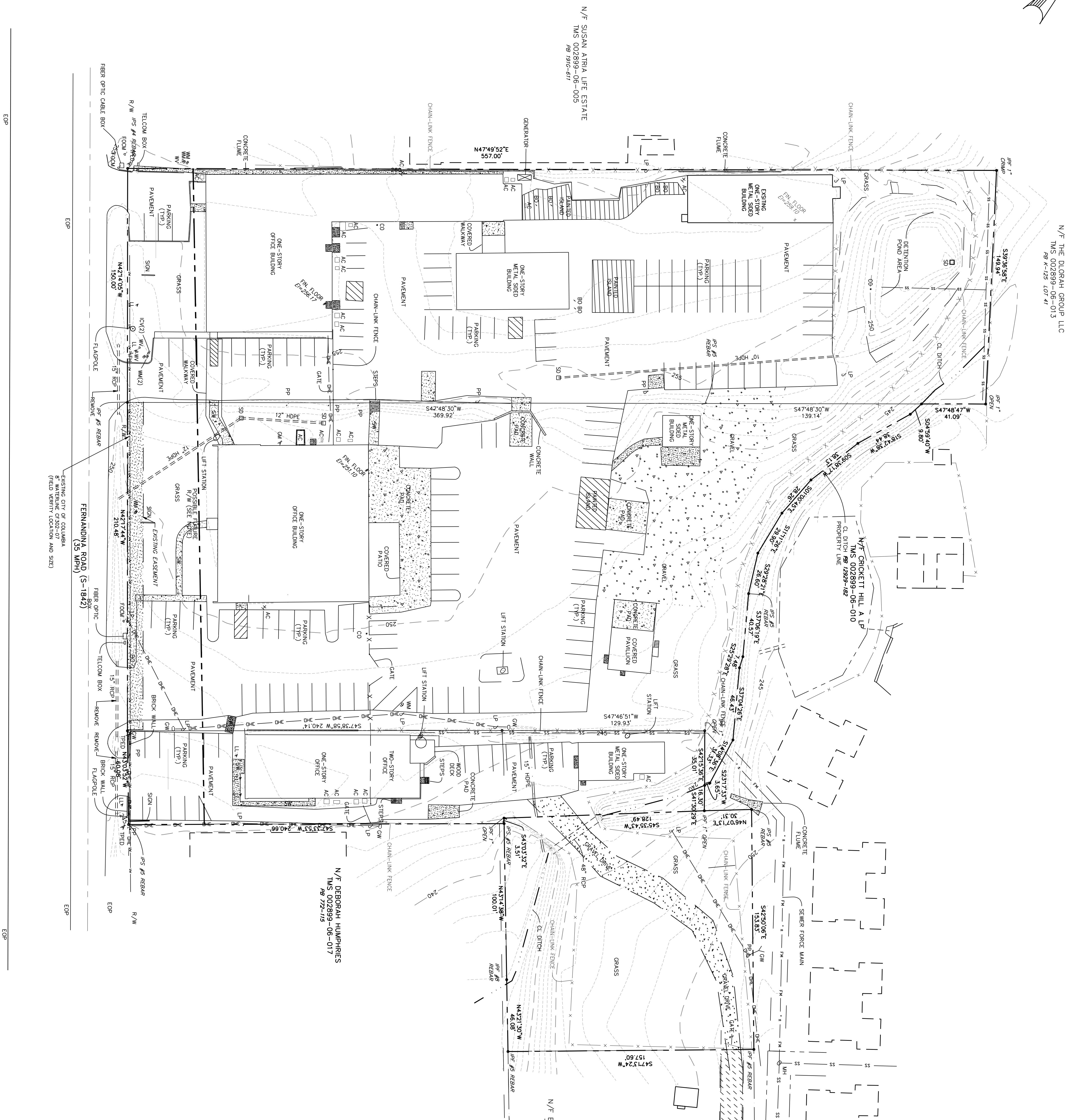
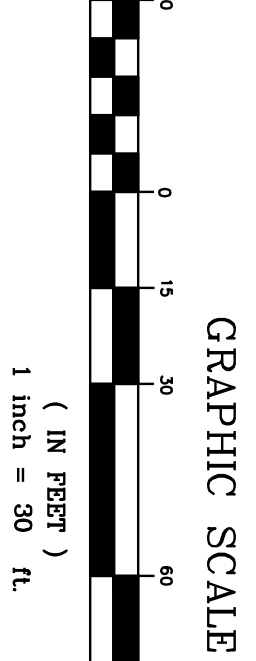
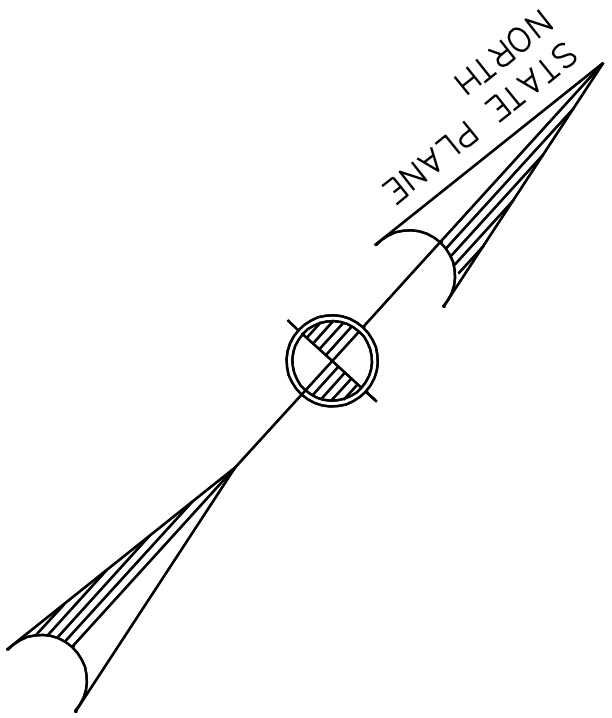


PREPARED BY
POWER ENGINEERING COMPANY, INC.
ENGINEERS — PLANNERS
209 SWEET RISE, SUITE A
COLUMBIA, SC 29204
(803) 762-5222 FAX 762-5223



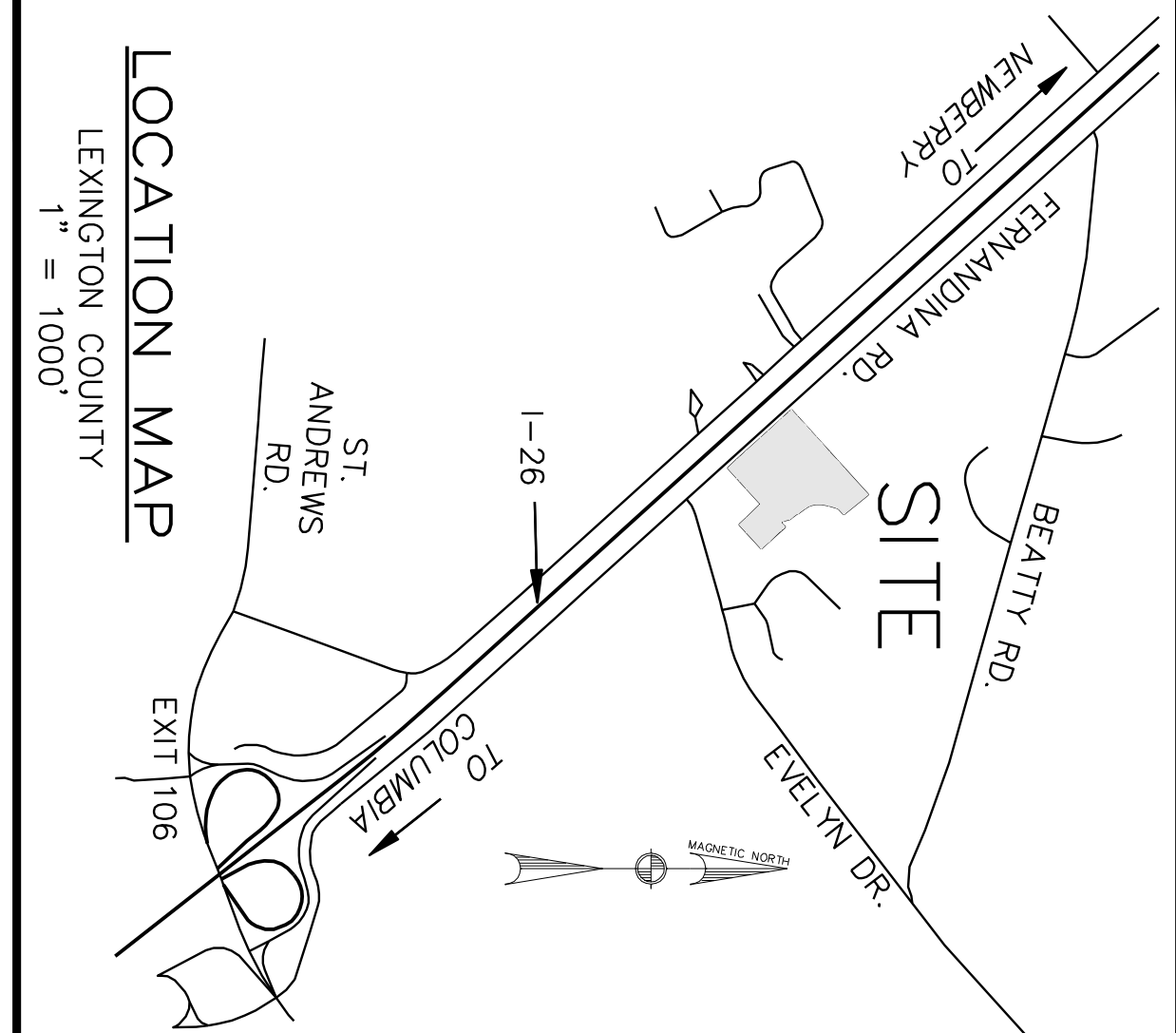
GARVINDESIGNGROUP
803.212.1032 p / 803.212.1044 f
P.O. Box 18
Columbia, SC 29202
1709 Lincoln Street





FLOOD STATEMENT:
I, THE SURVEYOR, HAVE CONSULTED THE FIRM FLOOD INSURANCE RATE MAPS (FIRM) FOR THE AREA SHOWN ON THIS PLAN AND HAVE DETERMINED THAT THE AREA SHOWN ON THIS PLAN IS NOT A DESIGNATED FLOOD PRONE AREA.

REFERENCE:
ALL BUILDINGS, UTILITIES AND EXIST. SITE FEATURES TAKEN FROM A SURVEY PREPARED BY CHAS. KENNEDY & COMPANY, POWER ENGINEERING COMPANY, 2222 SUMMIT ROAD, SUITE A, COLUMBIA, SC 29203, PHONE (803) 216-8777, COLUMBIA, SC 29203, AND TO THE TOPOGRAPHIC INFORMATION ON THE SURVEY.



POWER ENGINEERING COMPANY, INC.
ENGINEERS - PLANNERS
2222 SUMMIT ROAD, SUITE A
COLUMBIA, SC 29203
(803) 216-8777

- LEGEND:**
- 4 PP POWER POLE
 - 1 UP LIGHT POLE
 - 1 OW OVERHEAD ELECTRIC LINE
 - 2 SD STORM DRAIN
 - # RCP REINFORCED CONCRETE PIPE
 - IPS IRON PIPE FOUND
 - Y FH FENCE LINE
 - Y FH FIRE HYDRANT
 - W M WATER METER
 - W M WATER METER
 - W M IRRIGATION CONTROL VALVE
 - W M WATER LINE
 - W M SEWER MANHOLE
 - W M SEWER CLEAN OUT
 - W M BOLLARD
 - W M TELEPHONE PEDestal
 - W M FIBER OPTIC CABLE MARKER
 - W M LANDSCAPE LIGHT

ENGINEER:
POWER ENGINEERING, CO.
2222 SUMMIT ROAD, SUITE A
COLUMBIA, SC 29203
PHONE (803) 216-8777
POWERENGINEERING.COM



REVISIONS		
NO.	NAME	DATE

PROJECT TITLE
TERMINIX CORPORATE OFFICE

3618 FERNANDINA ROAD
COLUMBIA, SC 29210

AE SEAL

AE SEAL

GARVIN DESIGN GROUP
803.212.1032 p / 803.212.1074 f
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

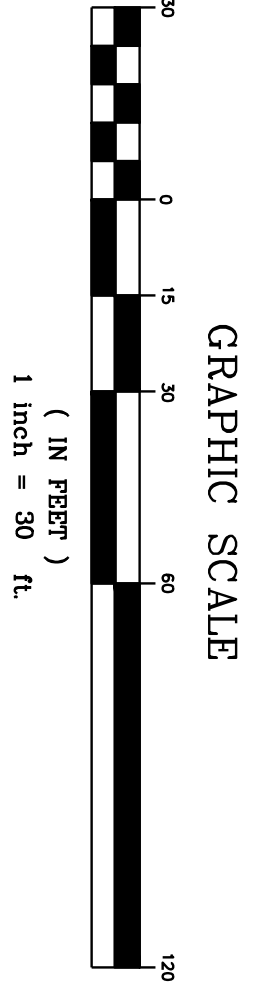
PROJECT NO.
T473.17

DRAWING TITLE
EXISTING CONDITIONS

DRAWN BY: D.H.C.
CHECKED BY: J.T.S.

DATE
7.25.18

DRAWING NO.
C10



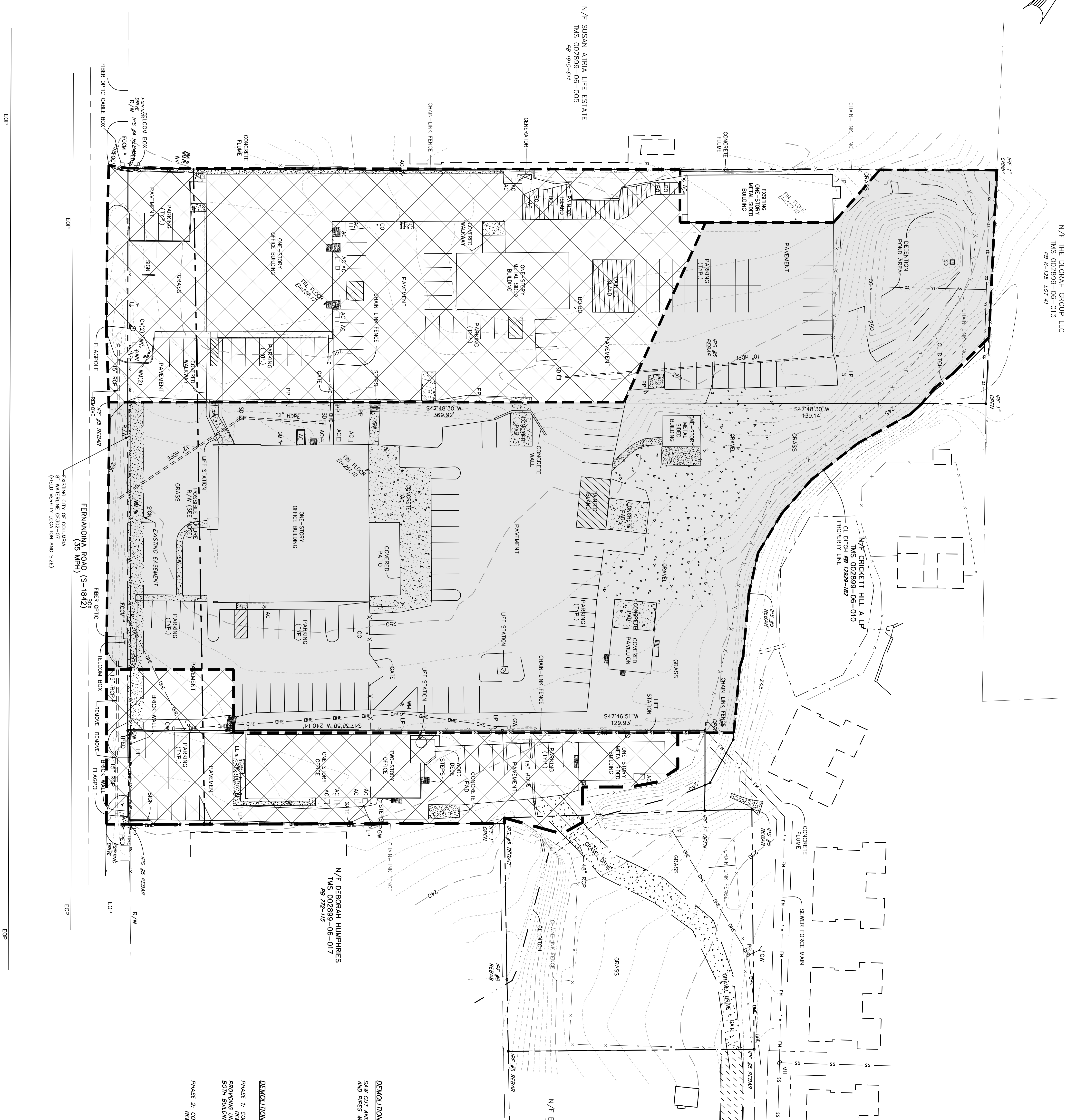
GRAPHIC SCALE

FLOOD STATEMENT: I HAVE CONSULTED THE FLOOD RISK INSURANCE PLAN MAPS AND FLOOD ZONE MAPS FOR THE SUBJECT PROPERTY AND HAVE DETERMINED THAT THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS WITHIN UNSHADDED ZONE 'X', NOT A DESIGNATED FLOOD PHONE AREA.

OWNER: TETRALIN
3618 FERNANDIA ROAD
COLUMBIA, S.C. 29010
PHONE (617) 855-4093
cborder@rusttermix.com

OWNER:
TERMINIX
3618 FERNANDINA ROAD
COLUMBIA, S.C. 29010
PHONE (877) 855-4093
cbarber@terminix.com

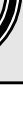
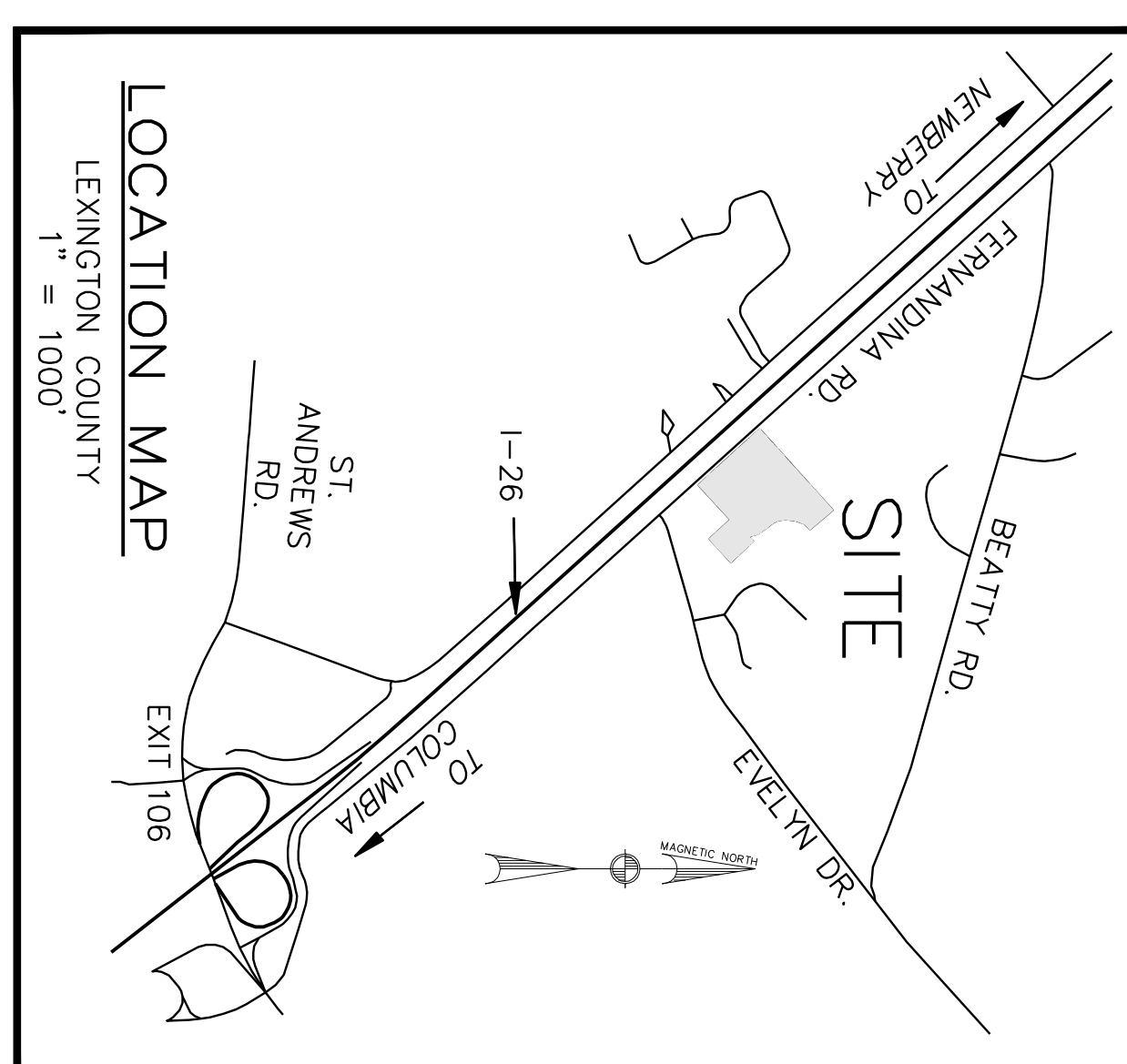
PEC 374E



DEMOLITION NOTES:
SAW CUT AND REMOVE EXISTING ASPHALT DRIVES
AND PIPES WITH PROPER TRAFFIC CONTROL.


DEMOLITION SEQUENCE:

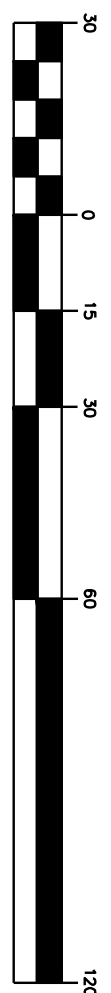
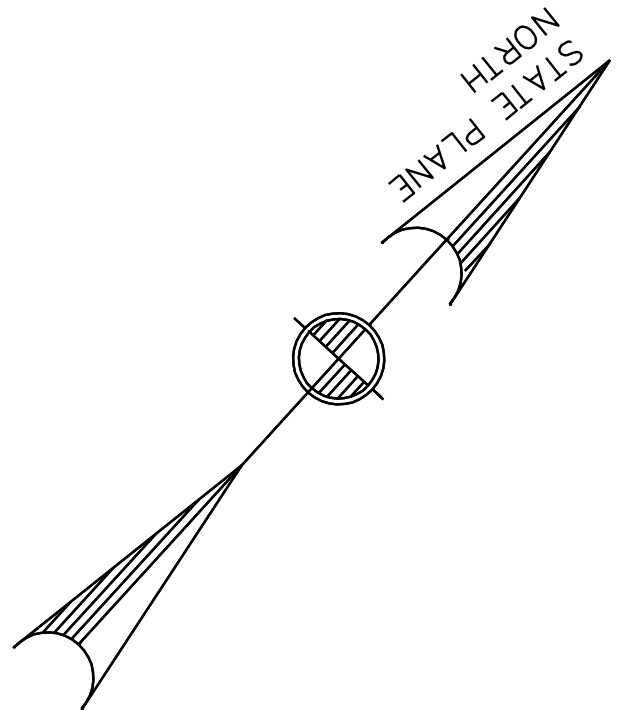
PHASE 1: CONTRACTOR AND OWNER TO COORDINATE REMOVAL OF ALL INFRASTRUCTURE WHILE PROVIDING UNINTERRUPTED SERVICE AND FLOW TO BOTH BUILDINGS IN PHASE 2.



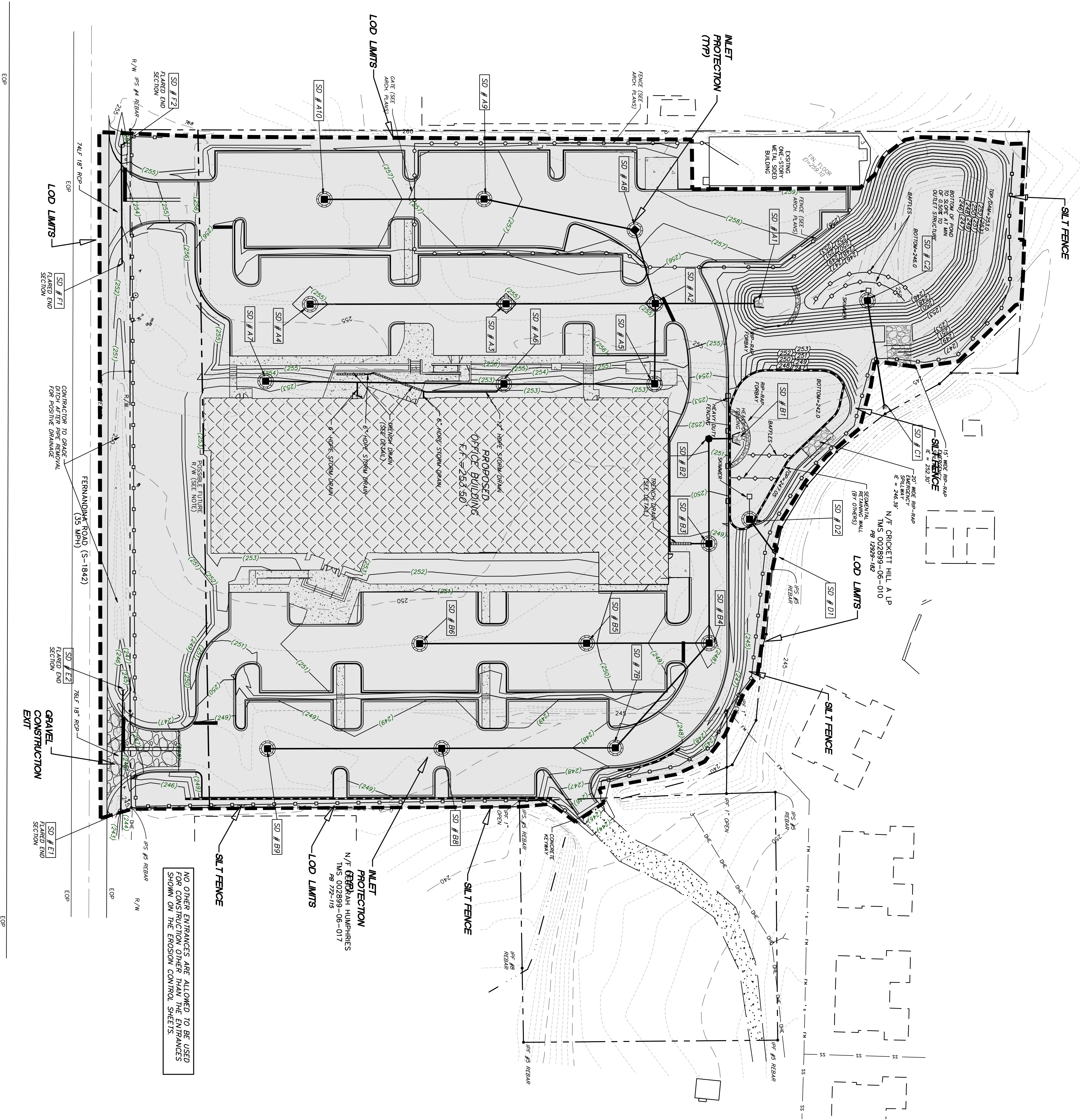
PREPARED BY
POWER ENGINEERING COMPANY, INC.
ENGINEERS — PLANNERS

3229 SUNDRI BLVD., SUITE A
WEST SUNDRI, NEW JERSEY 07081
(609) 216-8777
(FAX) 216-8070

PROJECT NO. T473.17	DRAWING TITLE DEMOLITION PLAN	DRAWN BY: D.H.C.	REVISIONS <table><tr><th>NO.</th><th>NAME</th><th>DATE</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	NO.	NAME	DATE																												PROJECT TITLE TERMINIX CORPORATE OFFICE	A/E SEAL	A/E SEAL	<div> GARVINDESIGNGROUP</div> <div>803.212.1032 p / 803.212.1074 f 1209 Lincoln Street P.O. Box 18 Columbia, SC 29202</div>
NO.		NAME		DATE																																	
DATE 7.25.19	CHECKED BY: J.T.S.	<p>THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF THE GARVIN DESIGN GROUP, INC. THE REPRODUCTION, COPYING OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF GARVIN DESIGN GROUP IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.</p> <p>©2019 GARVIN DESIGN GROUP, INC.</p>	3618 FERNANDINA ROAD COLUMBIA, SC 29210																																		
DRAWING NO. C2.0																																					



GRAPHIC SCALE

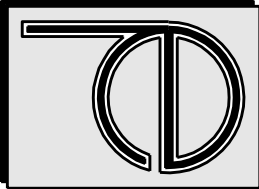
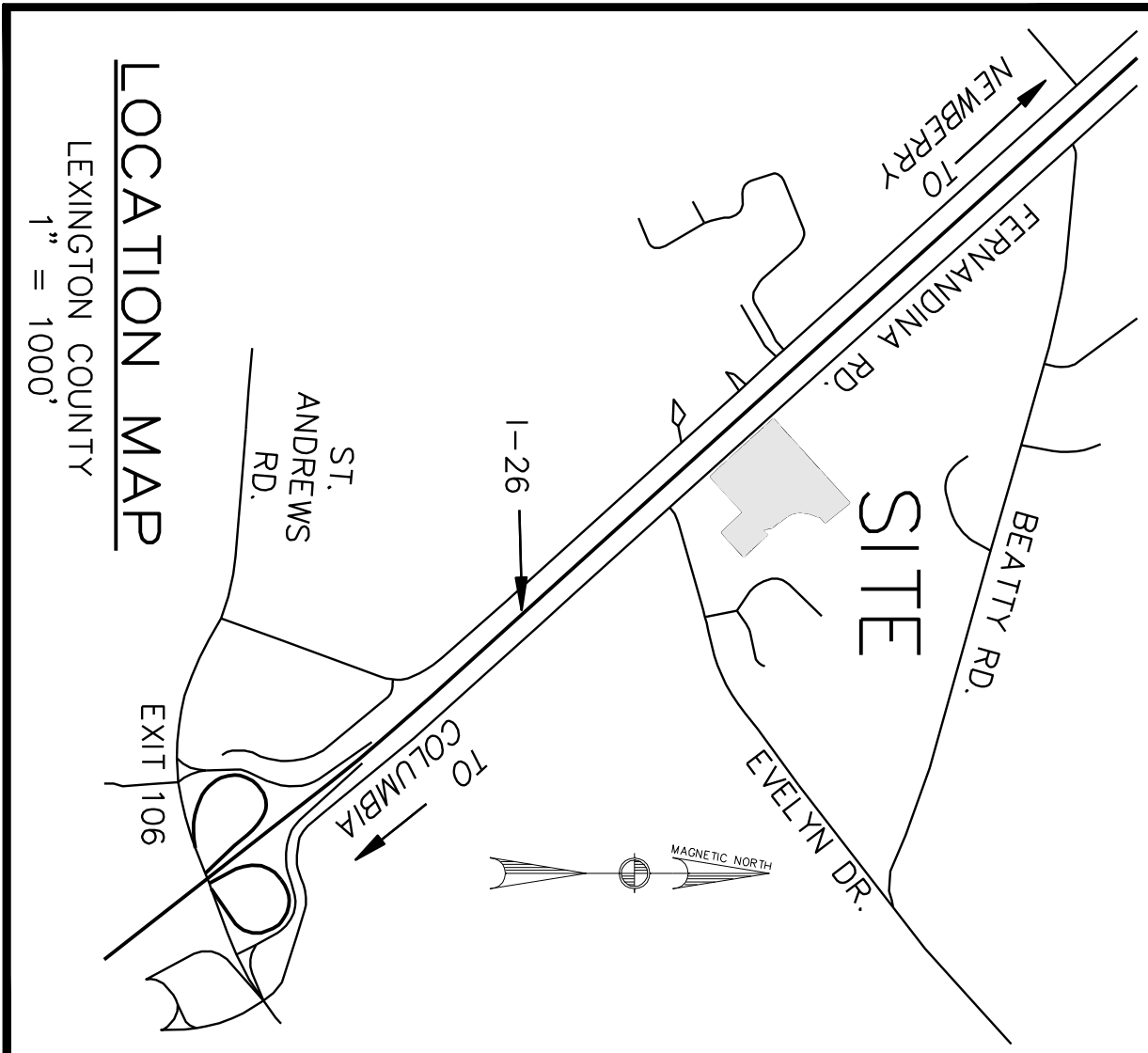
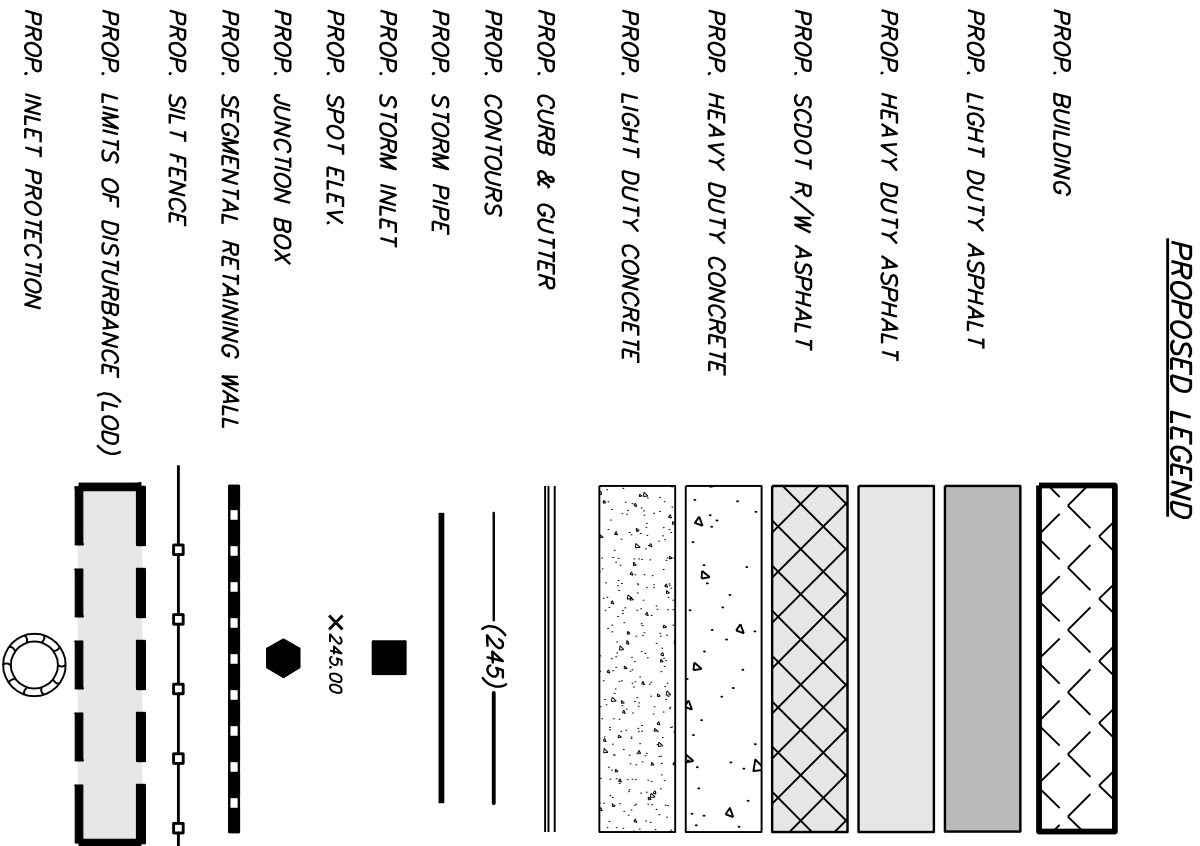


NOTE: LOCATION OF ADDITIONAL DAM STRUCTURES SHALL BE FIELD DETERMINED BY PROJECT ENGINEER OR INSPECTOR

NOTE: EXISTING ASPHALT PAVEMENT WITH PERMANENT GRASS SEED ON ALL SLOPES 3:1 OR GREATER

LIMITS OF DISTURBANCE:

PHASE 1 DISTURBANCE: 11,500 SQ FT (1.5 AC)
PHASE 2 DISTURBANCE: 80,500 SQ FT (1.8 AC)
TOTAL DISTURBANCE: 92,000 SQ FT (2.1 AC)

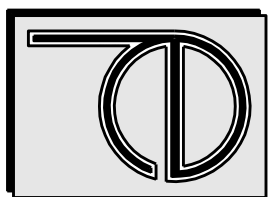


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POWER ENGINEERING COMPANY, INC.
ENGINEERS - PLANNERS
3229 SAINT BLOIS, SUITE A
COLUMBIA, SC 29204
(803) 212-1032 FAX: (803) 212-4030



803.212.1032 p / 803.212.1074 f
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

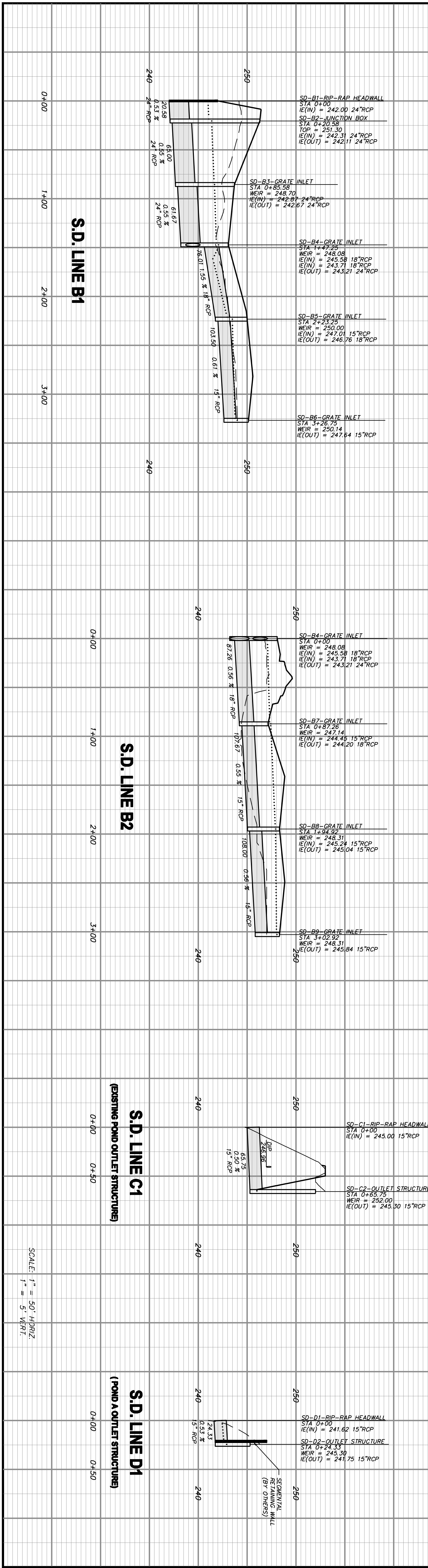
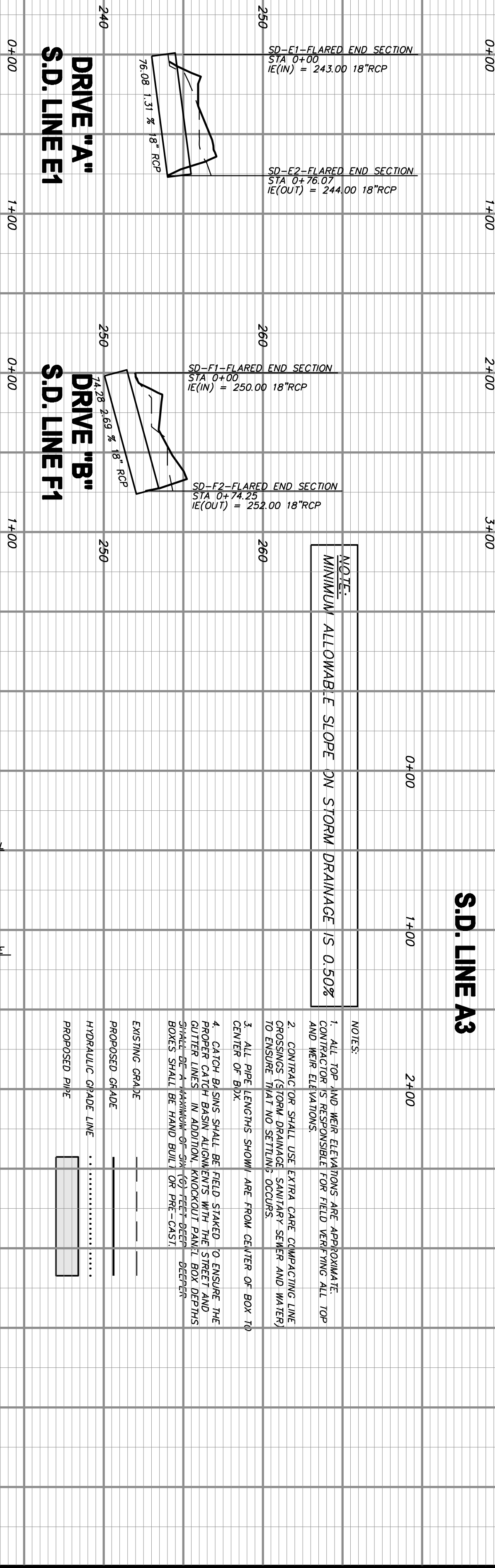
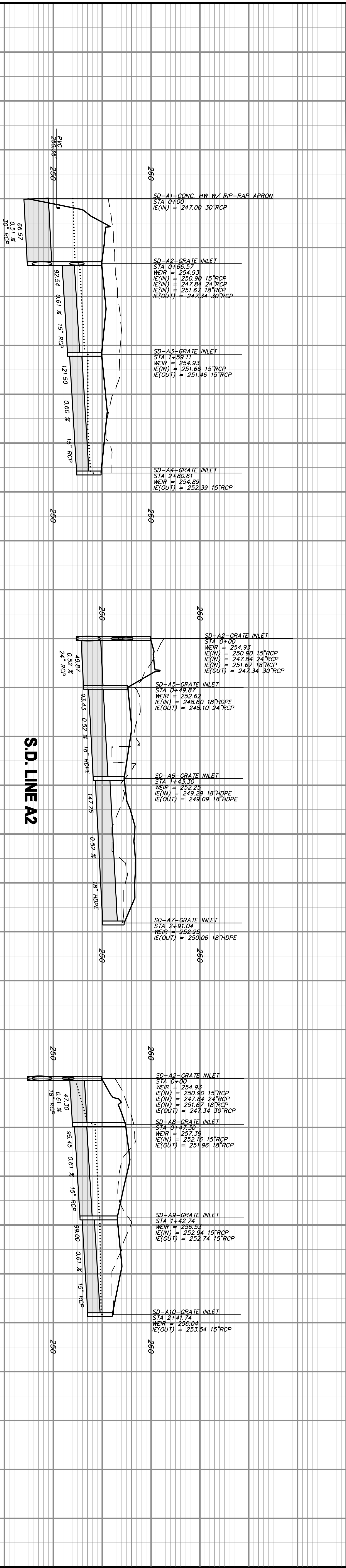
PROJECT NO. T473.17		DRAWING TITLE EROSION CONTROL PLAN PHASE 2		DRAWN BY: D.H.C. CHECKED BY: J.T.S.		PROJECT TITLE TERMINIX CORPORATE OFFICE		AVE SEAL		AVE SEAL	
DATE 7.25.16		C4.1		REVISIONS		3618 FERNANDINA ROAD COLUMBIA, SC 29210					
NO. NAME DATE											
1 SHEET SITE PER DOT RW 10-23-16											
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C4.1		803.212.1032 p / 803.212.1074 f		1209 Lincoln Street		P.O. Box 18					
		GARVIN DESIGN GROUP, INC.		Columbia, SC 29202							



PREPARED BY
POWER ENGINEERING COMPANY, INC.
ENGINEERS - PLANNERS
2229 SWEET BAY, SUITE 4
WEST COLUMBIA, S.C. 29169
(803) 752-1937 FAX (803) 752-8970



803.212.1032 p / 803.212.1074 f
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202



ENGINEER:
POWER ENGINEERING, CO. P.E. 4
WEST COLUMBIA, S.C. 29169
PHONE (803) 216-8777
DRAWING@POWERENG.COM

CHECKER:
TERMINX ENGINEERING, INC.
COLUMBIA, S.C. 29202
PHONE (877) 855-4033
TERMINX@TERMINX.COM



PROJECT NO. 1473.17
DATE 7.25.18
DRAWING NO. C5.1

DRAWING TITLE
STORM DRAIN PROFILES

DRAWN BY: D.H.C.
CHECKED BY: J.T.S.

REVISIONS			
NO.	NAME	DATE	
1	SHIFT SITE PER DOT RW	10-22-18	

PROJECT TITLE
TERMINX CORPORATE OFFICE

3618 FERNANDINA ROAD
COLUMBIA, SC 29210

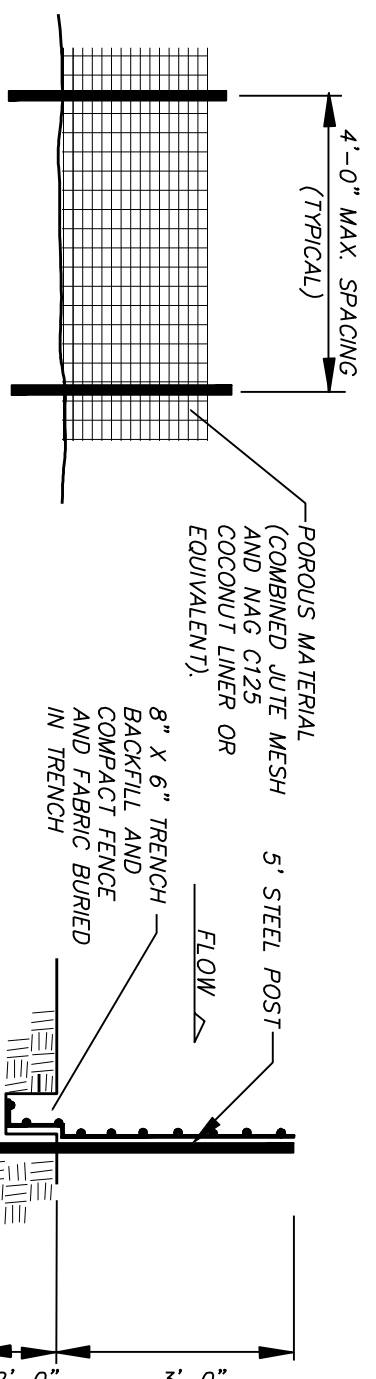
A/E SEAL

A/E SEAL

POND MAINTENANCE PLAN

PROPER INSPECTION AND MAINTENANCE ON A REGULAR BASIS IS NECESSARY TO PROMOTE EFFECTIVE STORMWATER TREATMENT. THE FOLLOWING IS A LIST OF MINIMUM INSPECTION AND MAINTENANCE RECOMMENDATIONS. MORE FREQUENT INSPECTIONS AND MAINTENANCE MAY BE REQUIRED TO ENSURE LONG TERM PERFORMANCE OF THE POND.

- GRASS IS TO BE MOWED ON A REGULAR BASIS TO LIMIT UNWANTED VEGETATION. VEGETATION SHOULD NOT BE ALLOWED TO GROW TO A HEIGHT OF 18" OR MORE.
- YOUNG TREES AND SHRUBS ARE TO BE REMOVED FROM THE EMBANKMENTS OF THE POND. THE POND SHALL BE MAINTAINED AT LEAST TWICE A YEAR FOR WOOD GROWTH. NEWLY ESTABLISHED WOOD GROWTH SHALL BE REMOVED.
- ACCUMULATED TWIGS AND DEBRIS SHOULD BE REMOVED FROM AND AROUND THE POND AS REQUIRED. A POND SHOULD BE MAINTAINED AT LEAST TWICE A YEAR.
- AT LEAST TWICE A YEAR, THE POND SHOULD BE INSPECTED TO DETERMINE IF THERE IS A NEED FOR ADDITIONAL MAINTENANCE. THESE AREAS SHOULD BE MAINTAINED AS REQUIRED.
- NEEDS AROUND THE POND SHOULD BE MAINTAINED TO PREVENT OVERGROWTH. THESE AREAS SHOULD BE MAINTAINED AS REQUIRED.
- NEWLY ESTABLISHED VEGETATION SHOULD BE INSPECTED MONTHLY DURING THE FIRST GROWING SEASON TO DETERMINE IF THERE IS A NEED FOR ADDITIONAL MAINTENANCE. THESE AREAS SHOULD BE MAINTAINED AS REQUIRED.
- POND EMBANKMENTS SHALL BE INSPECTED MONTHLY DURING THE FIRST YEAR FOR EROSION. AFTER THE FIRST YEAR POND EMBANKMENTS WILL BE INSPECTED TWICE A YEAR. ERODED BANKS SHALL BE STABILIZED AND REVEGETATED AS REQUIRED.



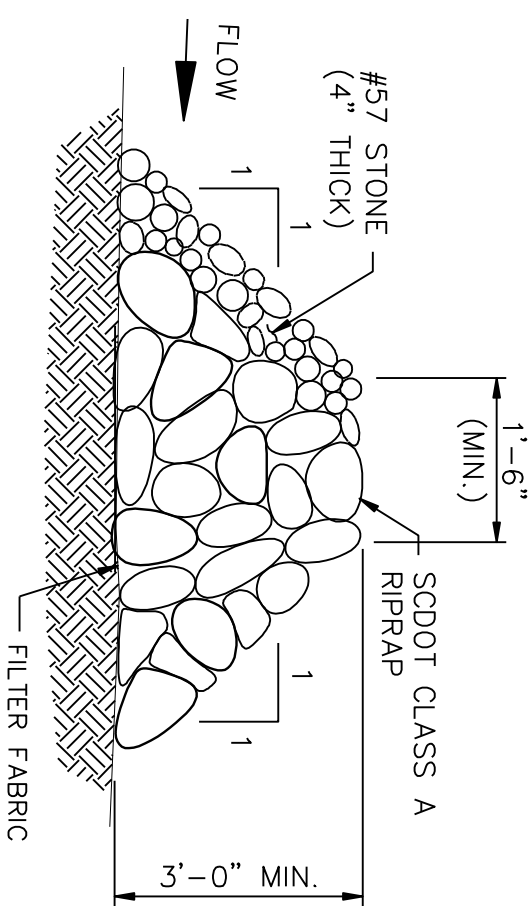
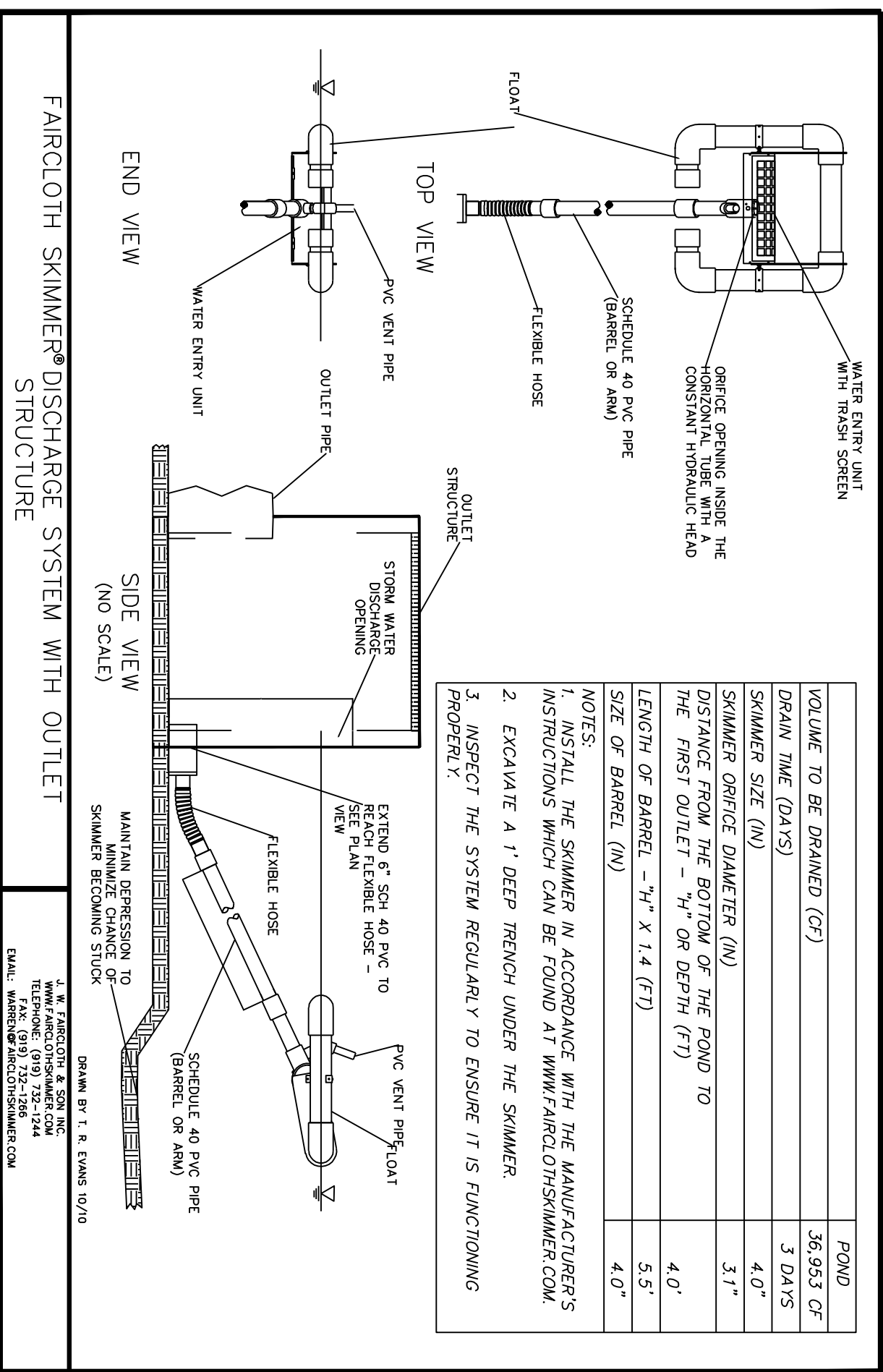
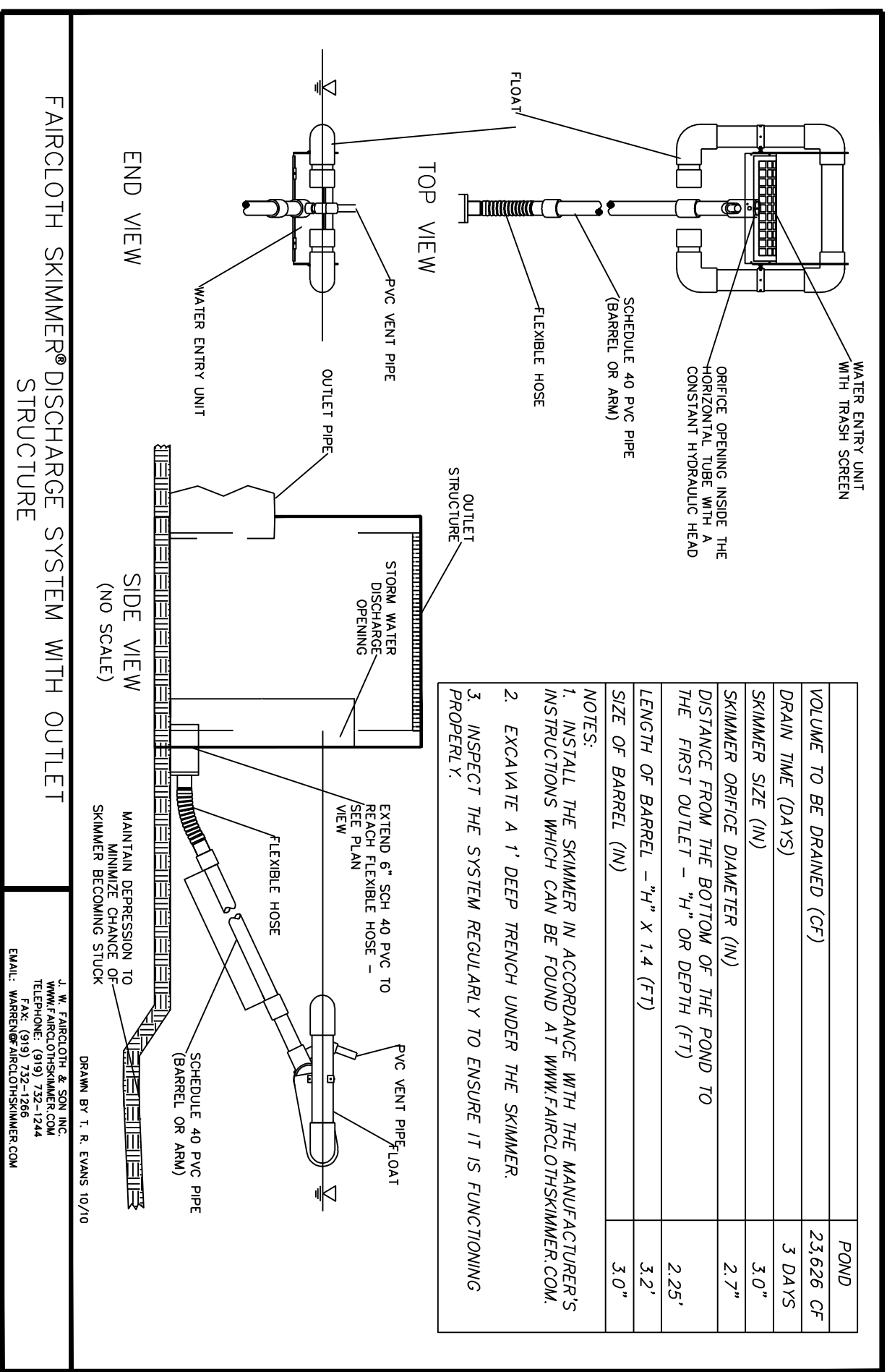
SEDIMENT BASIN

BAFFLE INSTALLATION

NOT TO SCALE

GENERAL NOTES:

1. DOWE 5\"/>



NOTES:

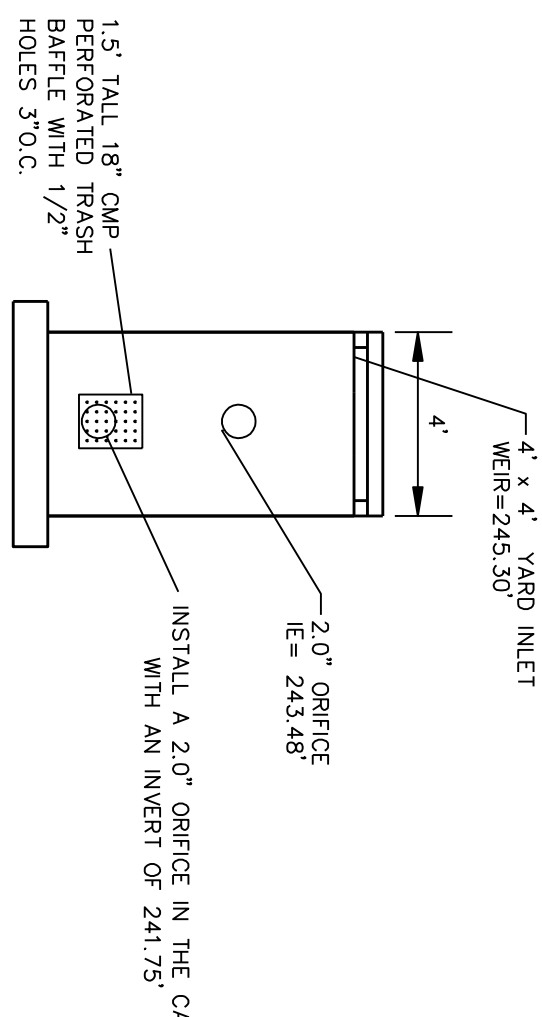
1. CONTRACTOR TO PERIODICALLY CLEAN STONE ALONG FACE OF FORBAY TO ENSURE POSITIVE FLOW.
2. FORBAY SHOULD EXTEND TO BERM/SLOPE.
3. FORBAY ELEVATION SHOULD MATCH TOP OF BERM/SLOPE ELEVATION WHERE FORBAY MEETS BERM/SLOPE. ELEVATION SHALL TRANSDUCER FROM BERM/SLOPE TO FORBAY TOP OF BERM/SLOPE WITHIN 3'-0\"/>

STONE FORBAY DETAIL

NO SCALE

RIP RAP EMERGENCY OVERFLOW SPILLWAY

NOT TO SCALE



NEW POND A

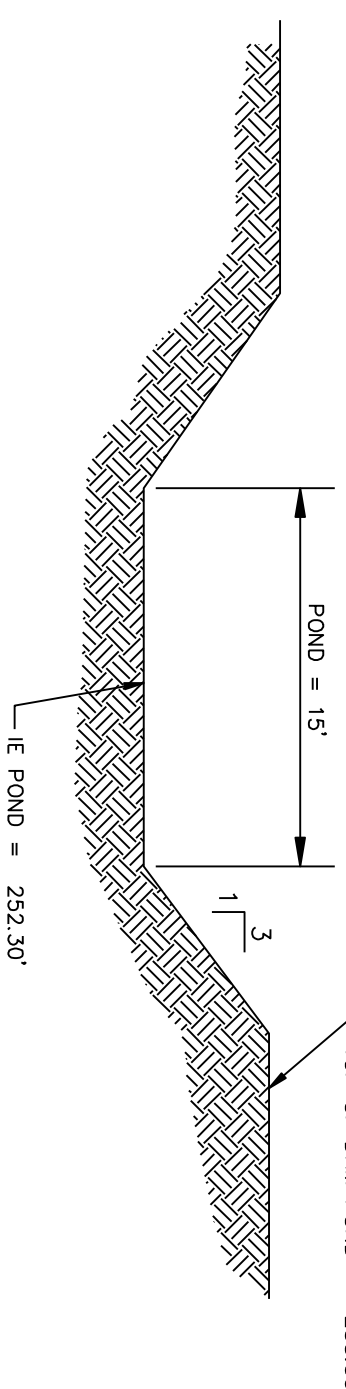
OUTLET STRUCTURE FRONT VIEW

NOTE:
SEDIMENT CLEAN OUT START TO BE PLACED BE MARKED AT ELEV. = 242.50' ELEVATION SHALL BE MARKED AT ELEV. = 242.50'

1. DURING CONSTRUCTION AND UNTIL THE TURF IS ESTABLISHED, CONTRACTOR TO MAINTAIN A SKIMMER (SEE DETAIL) IN THE POND TO CONVERT THE SEDIMENT POND TO A DETENTION POND AFTER THE SITE HAS BEEN STABILIZED FOLLOW THE STEPS BELOW.
2. TO CONVERT THE SEDIMENT POND TO A DETENTION POND AFTER THE SITE HAS BEEN STABILIZED FOLLOW THE STEPS BELOW.

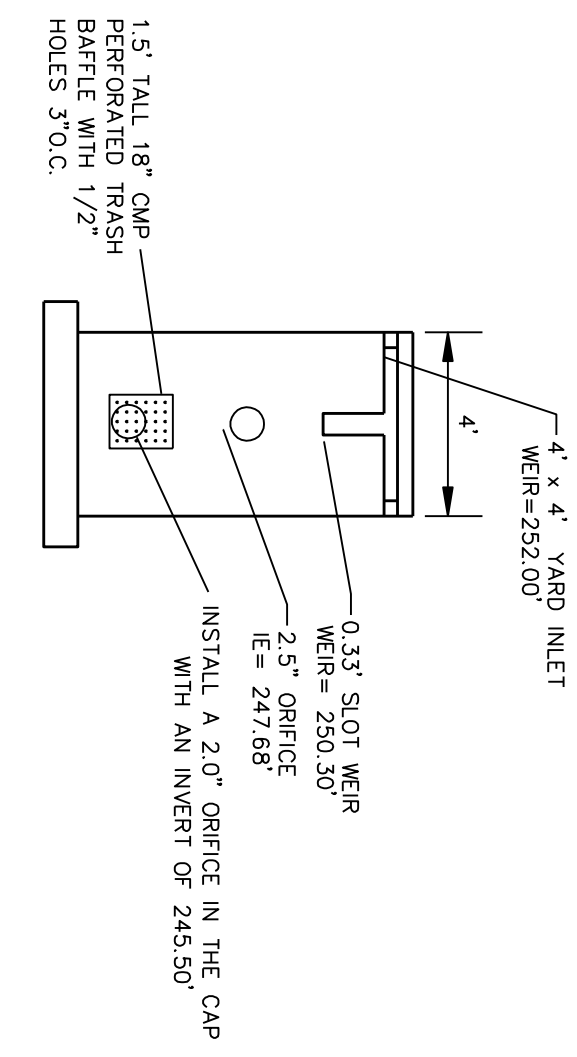
NEW POND A OUTLET STRUCTURE/SECTION

NOT TO SCALE



RIP RAP EMERGENCY OVERFLOW SPILLWAY

NOT TO SCALE



MODIFIED EXISTING POND

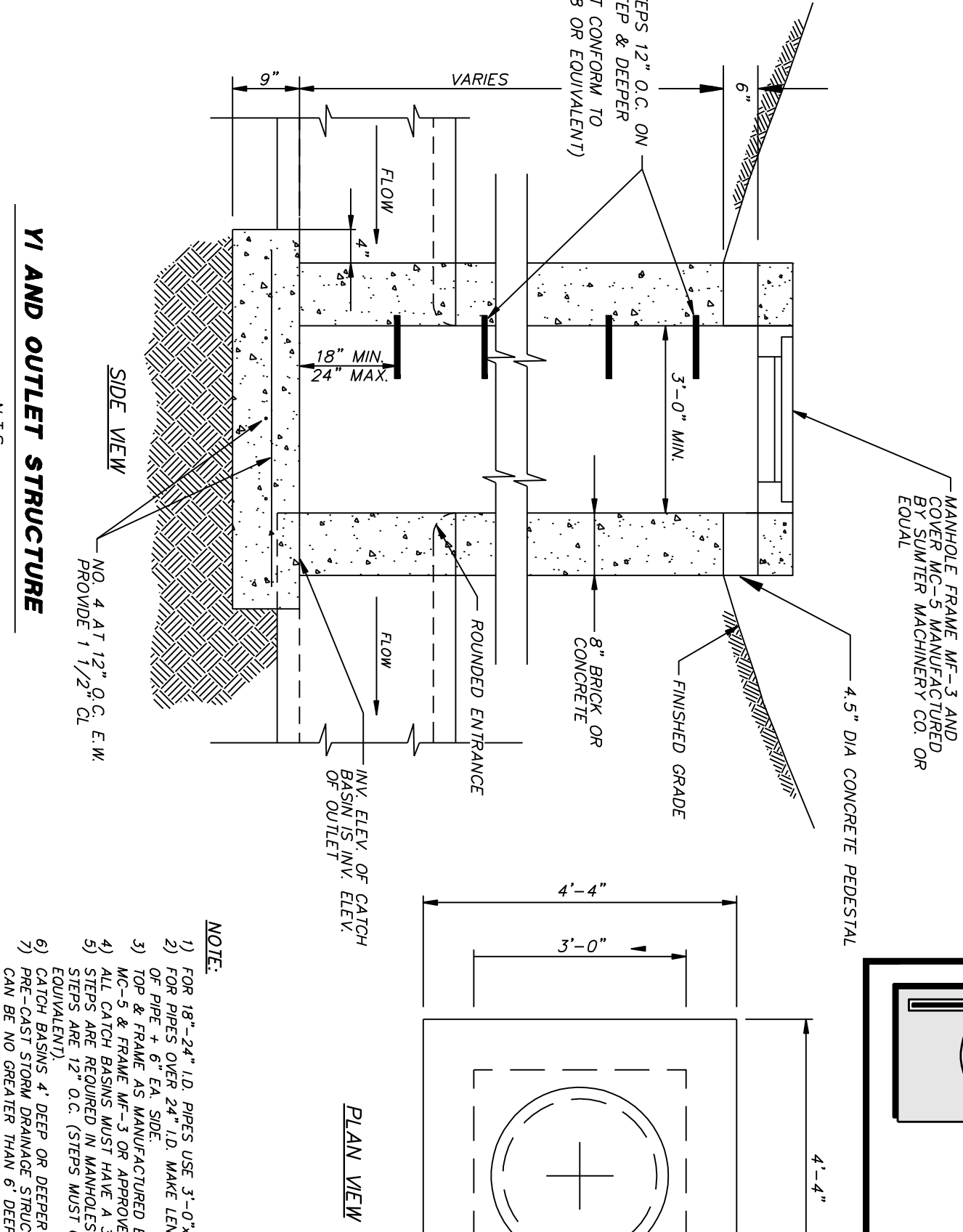
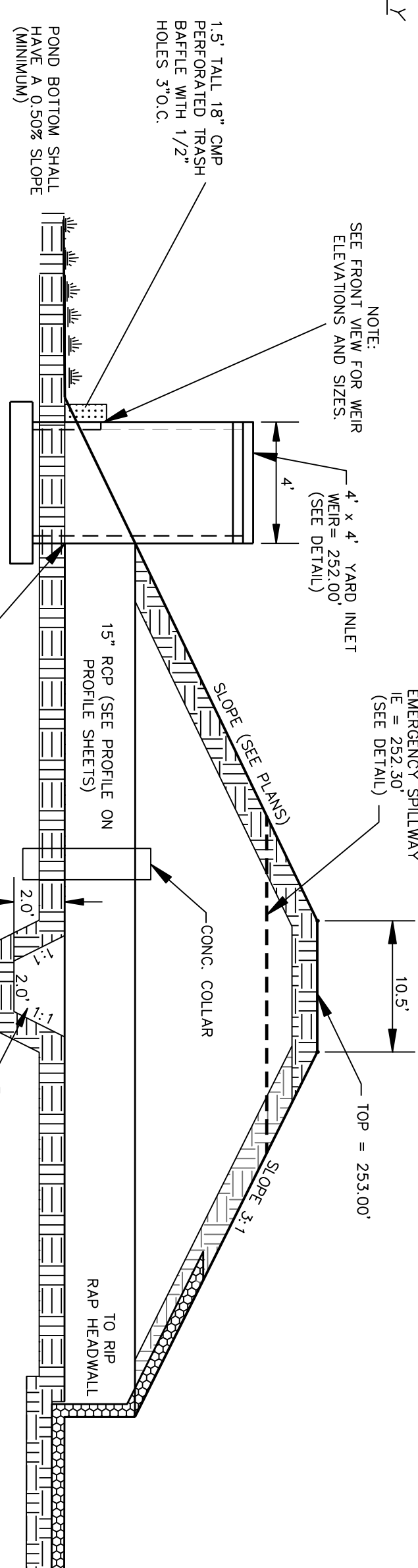
OUTLET STRUCTURE FRONT VIEW

NOTE:
SEDIMENT CLEAN OUT START TO BE PLACED BE MARKED AT ELEV. = 246.50' ELEVATION SHALL BE MARKED AT ELEV. = 246.50'

1. DURING CONSTRUCTION AND UNTIL THE TURF IS ESTABLISHED, CONTRACTOR TO MAINTAIN A SKIMMER (SEE DETAIL) IN THE POND TO CONVERT THE SEDIMENT POND TO A DETENTION POND AFTER THE SITE HAS BEEN STABILIZED FOLLOW THE STEPS BELOW.
2. TO CONVERT THE SEDIMENT POND TO A DETENTION POND AFTER THE SITE HAS BEEN STABILIZED FOLLOW THE STEPS BELOW.

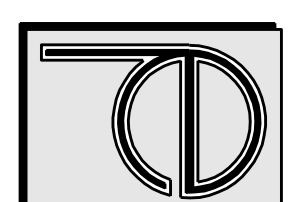
MODIFIED EXISTING POND OUTLET STRUCTURE POND

NOT TO SCALE

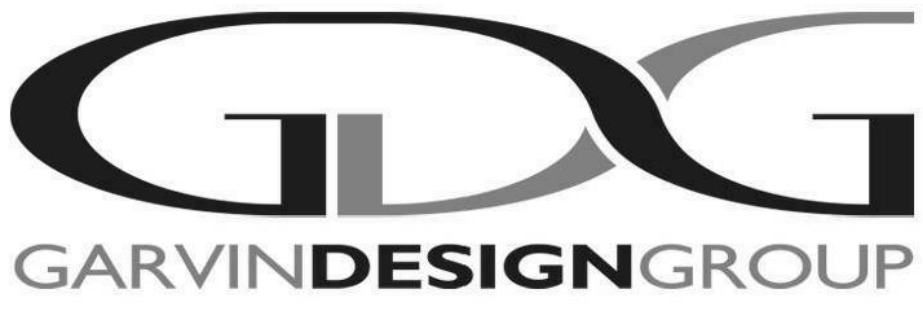


NOTE:

- 1) POND SHALL BE 18\"/>



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1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

PROJECT TITLE
TERMINIX CORPORATE OFFICE
3618 FERNANDINA ROAD
COLUMBIA, SC 29210

NO.	REVISIONS	NAME	DATE

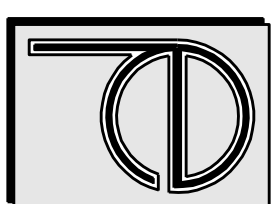
DRAWN BY: D.H.C.
CHECKED BY: J.T.S.
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DRAWING TITLE
MISCELLANEOUS DETAILS

PROJECT NO. 1473.17
DATE 7.24.18
DRAWING NO. **C7.1**



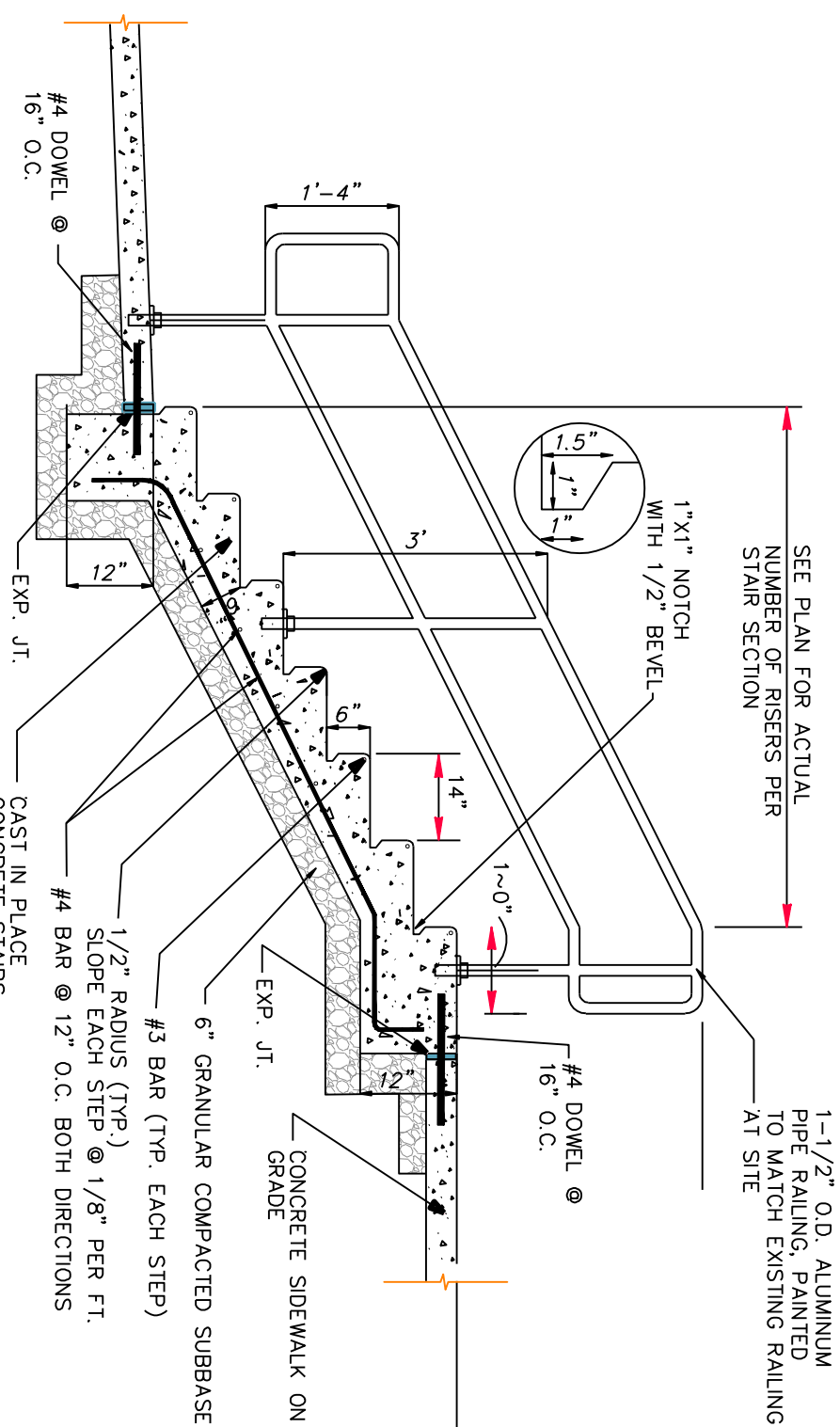
10/23/2018



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(803) 212-1032 P / 803.212.1074 F
1209 LINCOLN STREET
COLUMBIA, SC 29202

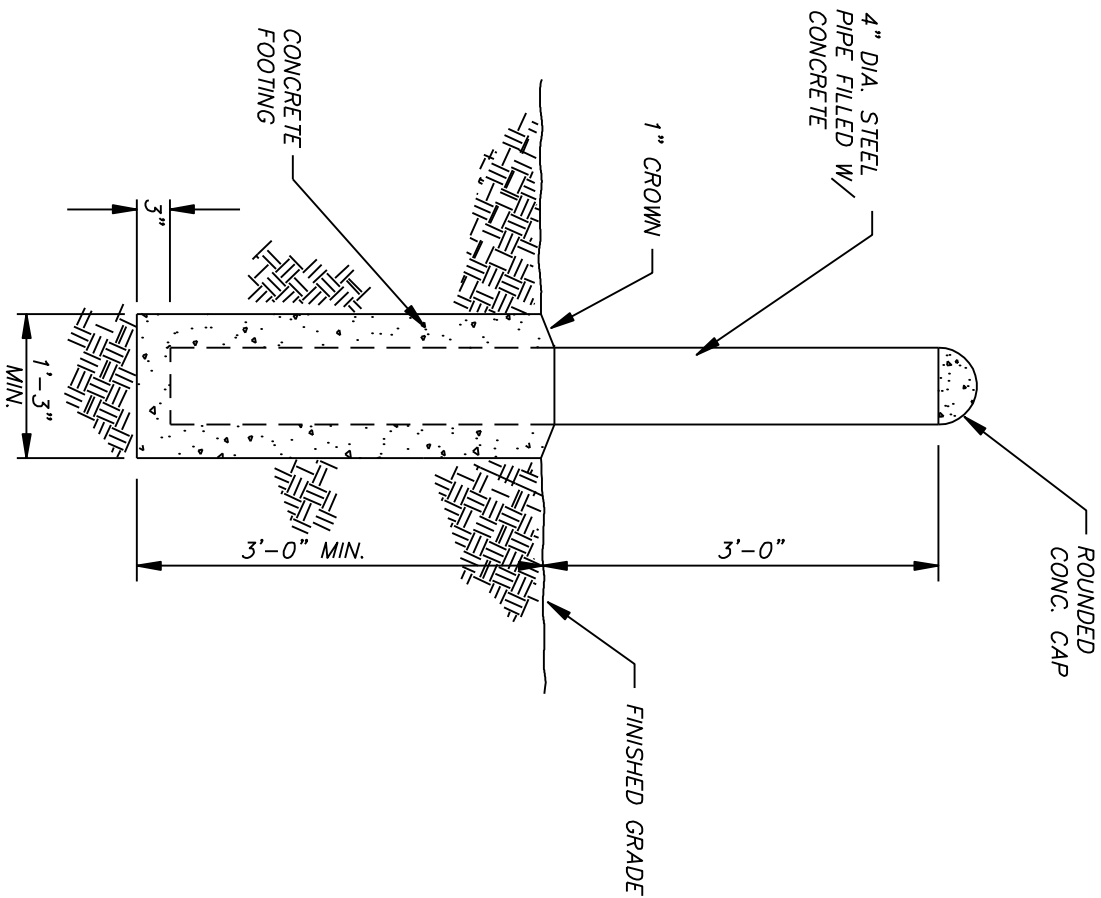


803.212.1032 P / 803.212.1074 F
P.O. Box 18
Columbia, SC 29202



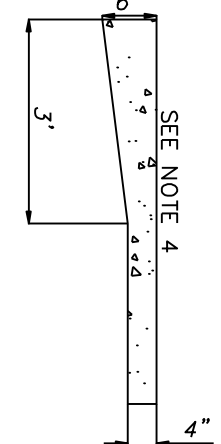
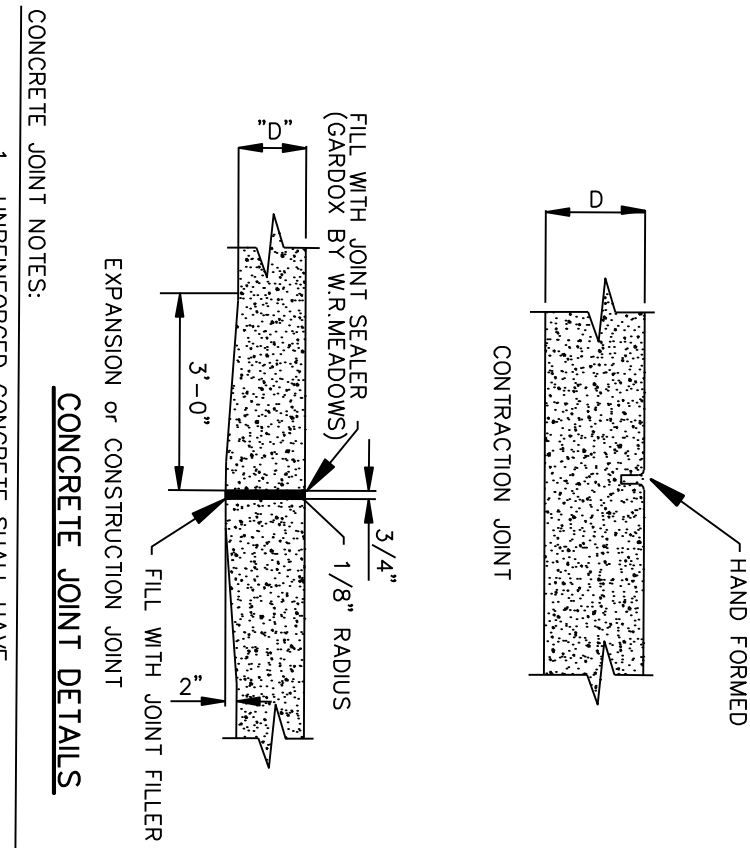
EXTERIOR CONCRETE STEPS

1. MEDIUM BROOM FINISH CONCRETE AT STEPS. SWEEP PERPENDICULAR TO DIRECTION OF TRAVEL.



BOLLARD DETAIL

NOTE: BOLLARDS TO BE PLACED 2' (TWO) PER HYDRANT AND SPACED 4' FEET APART, 3' FEET FROM HYDRANT.

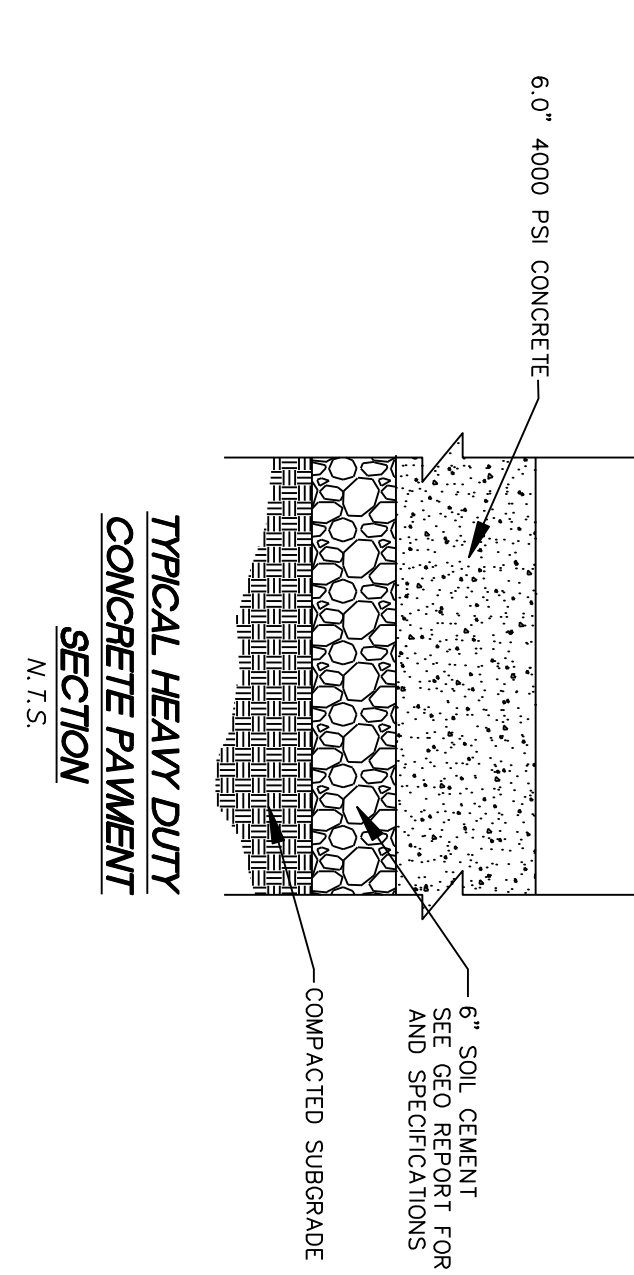
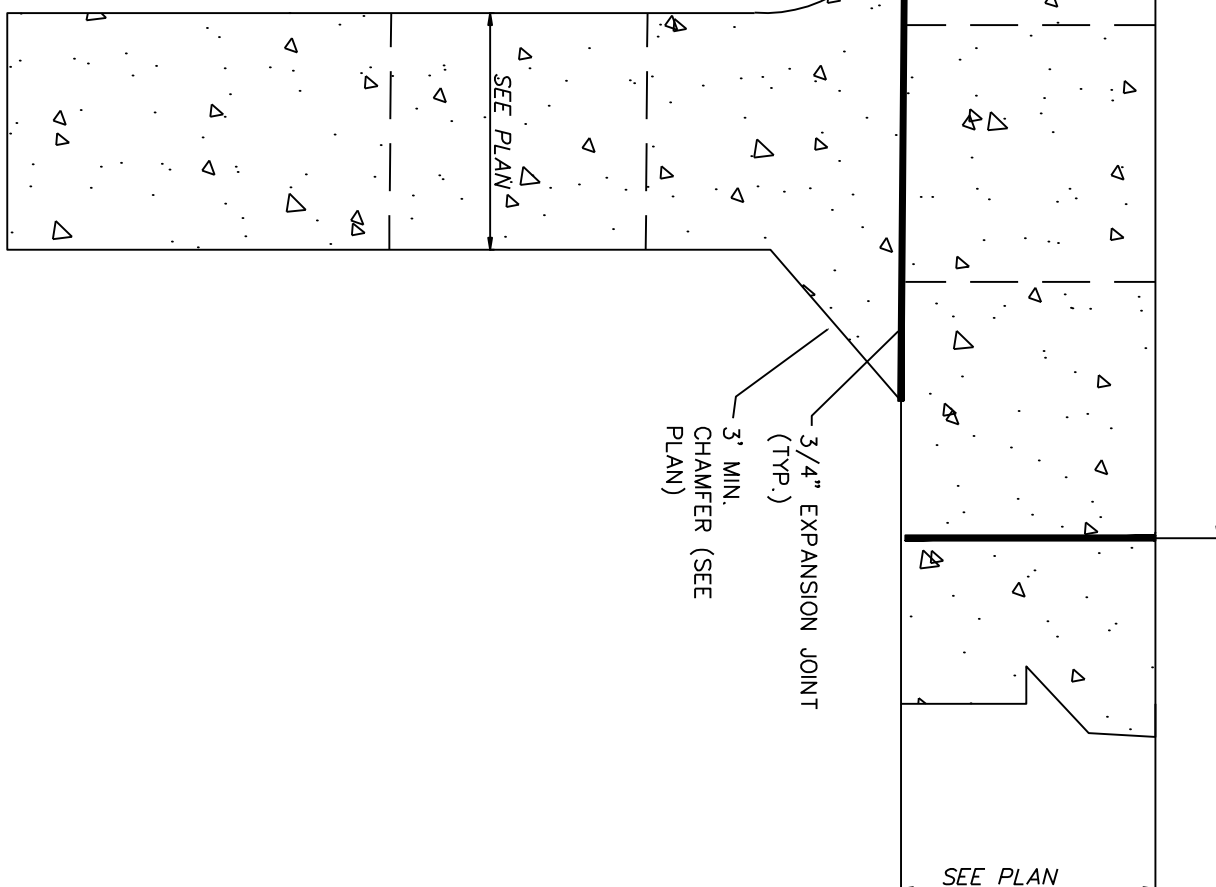


NOTES:

1. ALL SIDEWALKS SHALL BE 4" THICK.
2. CONTRACTION JOINTS SHALL BE SPACED AT INTERVALS OF: 10'-0" O.C. FOR 5'-0" SIDEWALK 1" RADIUS.
3. WHEN SIDEWALK ADJUTS A ROADWAY OR WHERE THERE IS NO SIDEWALK, THE SIDEWALK SHALL BE 12" ON CENTER GUTTER. SEE CONCRETE SIDEWALK W/ TURNED DOWN EDGE DETAIL.
4. WHEN SIDEWALK ADJUTS A ROADWAY OR WHERE THERE IS NO SIDEWALK, THE SIDEWALK SHALL BE 12" ON CENTER GUTTER. SEE CONCRETE SIDEWALK W/ TURNED DOWN EDGE DETAIL.
5. 3/4" EXPANSION MATERIAL REQUIRED WHERE A CONCRETE SIDEWALK ADJUTS A CONCRETE STRUCTURE.
6. A LAYER OF 19# FETI IS REQUIRED BETWEEN THE SIDEWALK AND ANY ADJACENT PARALLEL CONCRETE CURB.
7. CONCRETE WALKS TO HAVE FIBER REINFORCING.

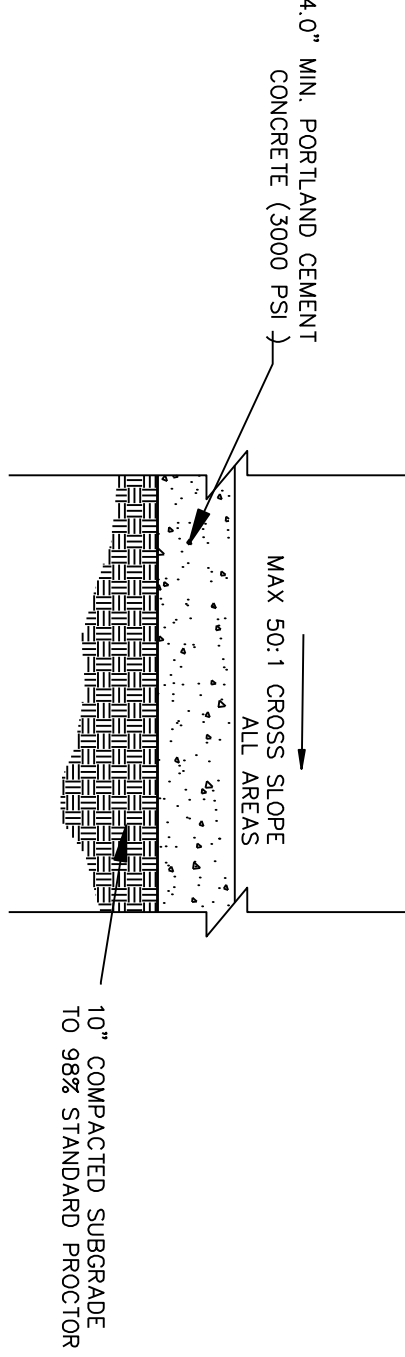
STANDARD SIDEWALK LAYOUT

N.T.S.



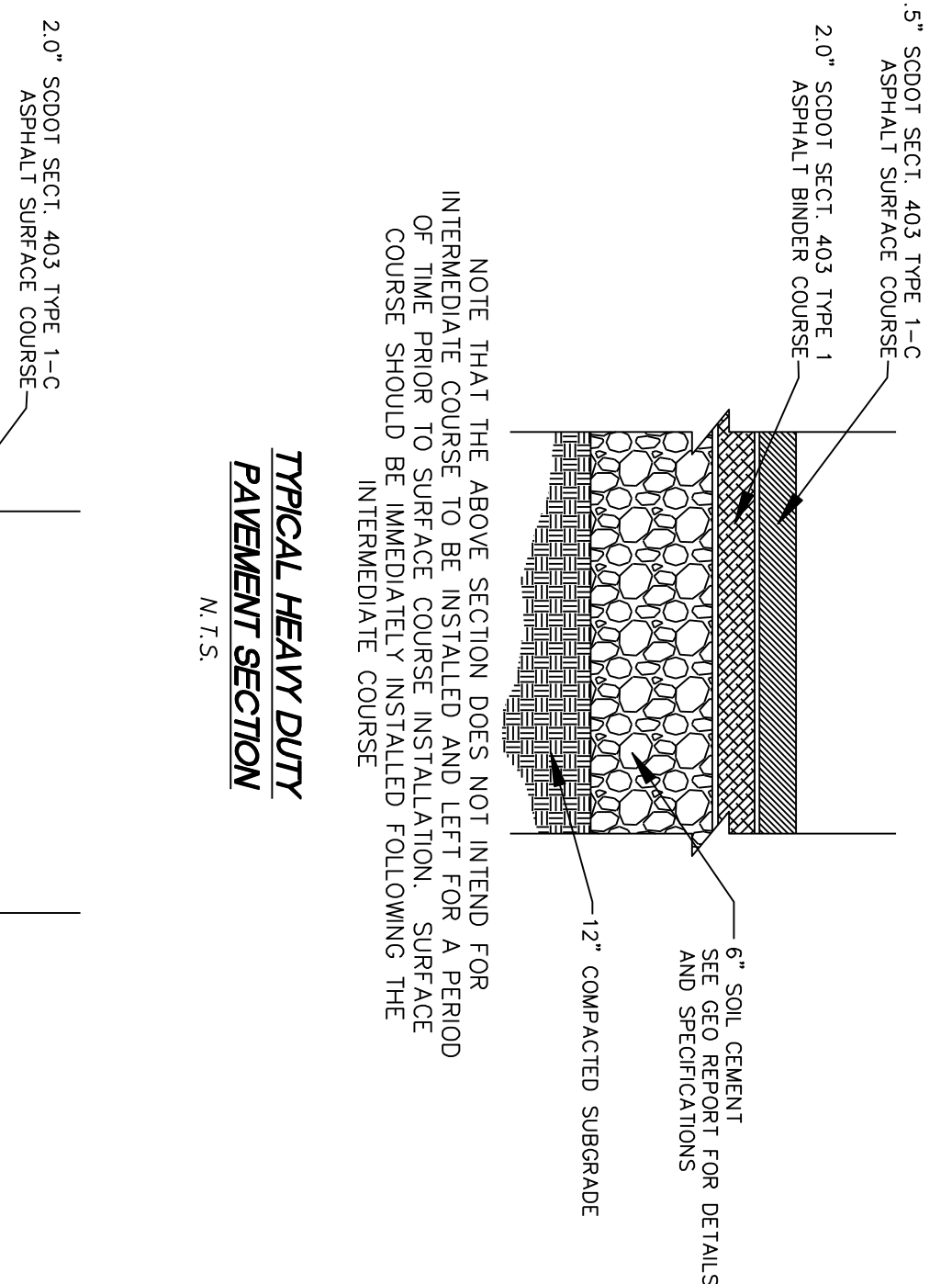
TYPICAL HEAVY DUTY CONCRETE PAVEMENT SECTION

N.T.S.



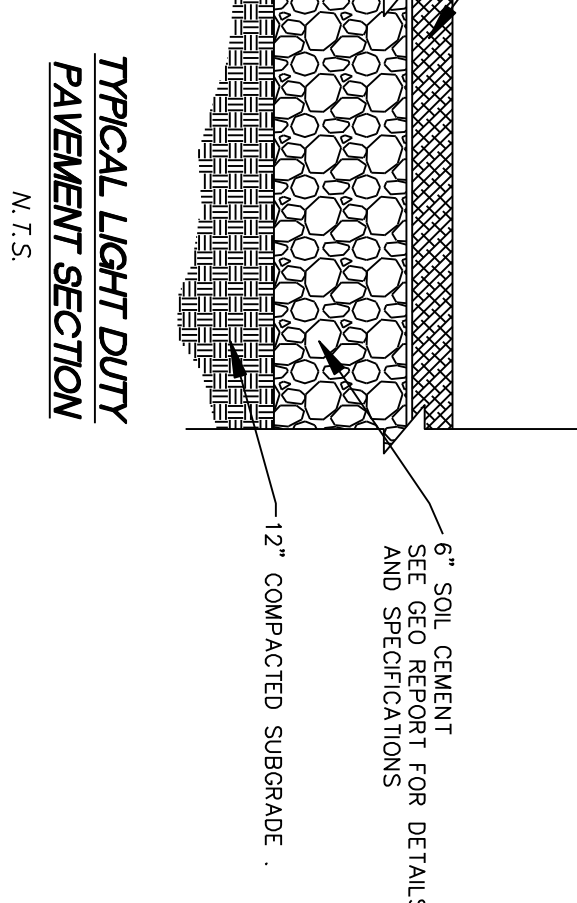
TYPICAL CONCRETE SIDEWALK

N.T.S.



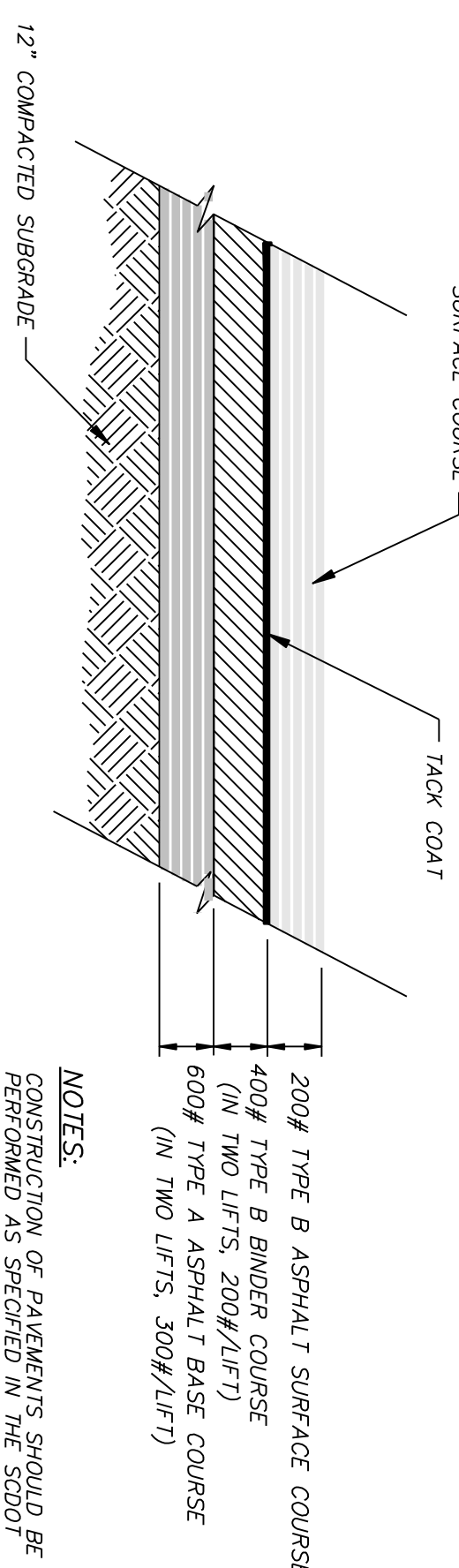
TYPICAL HEAVY DUTY PAVEMENT SECTION

N.T.S.



TYPICAL LIGHT DUTY PAVEMENT SECTION

N.T.S.



NOTES:

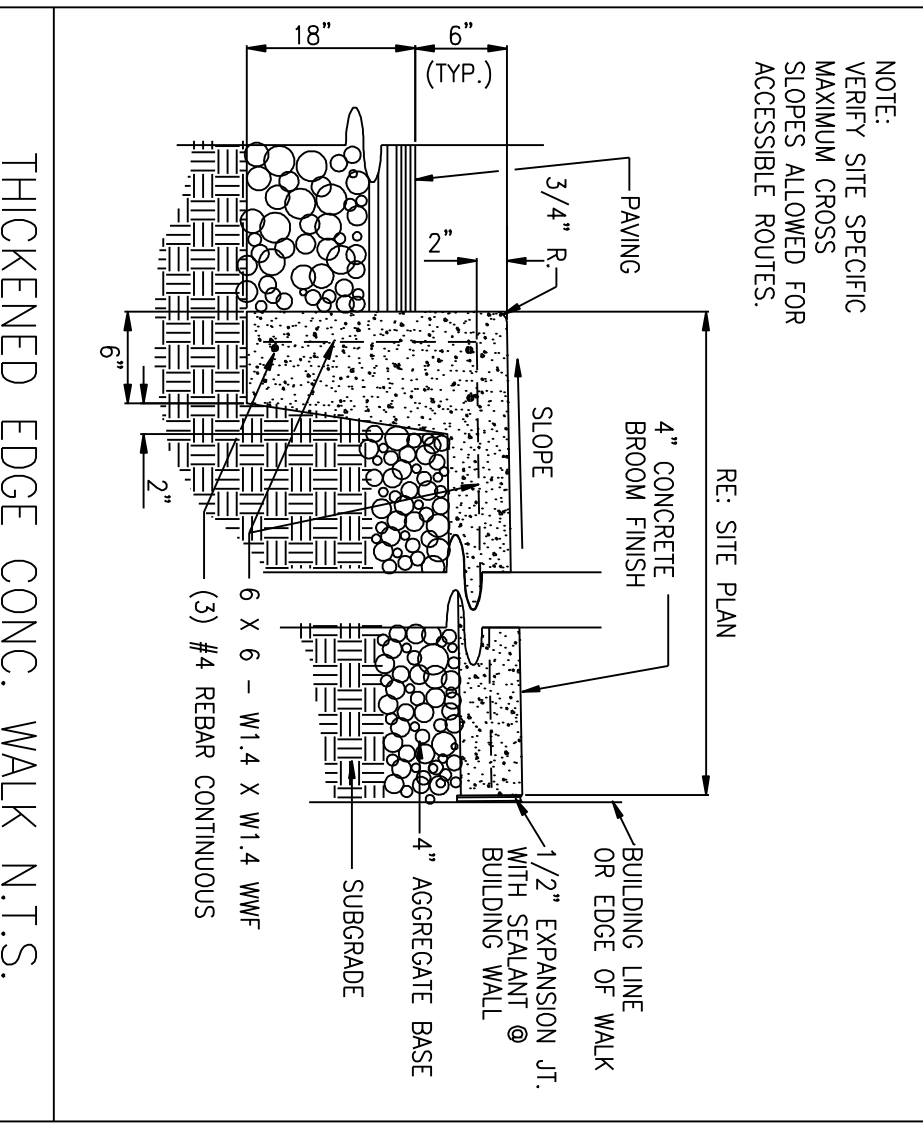
1. ALL SIDEWALKS SHALL BE 4" THICK.
2. CONTRACTION JOINTS SHALL BE SPACED AT INTERVALS OF: 10'-0" O.C. FOR 5'-0" SIDEWALK 1" RADIUS.
3. WHEN SIDEWALK ADJUTS A ROADWAY OR WHERE THERE IS NO SIDEWALK, THE SIDEWALK SHALL BE 12" ON CENTER GUTTER. SEE CONCRETE SIDEWALK W/ TURNED DOWN EDGE DETAIL.
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5. 3/4" EXPANSION MATERIAL REQUIRED WHERE A CONCRETE SIDEWALK ADJUTS A CONCRETE STRUCTURE.
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7. CONCRETE WALKS TO HAVE FIBER REINFORCING.

CONCRETE PAVEMENT SECTION

N.T.S.

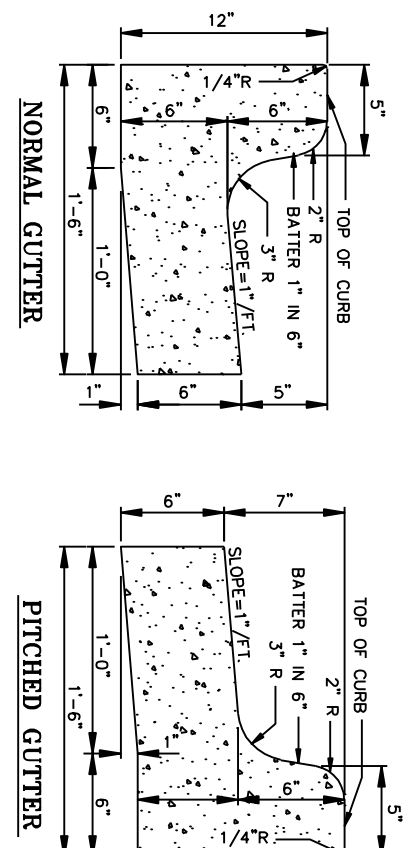
THICKENED EDGE CONC. WALK

N.T.S.



THICKENED EDGE CONC. WALK

N.T.S.

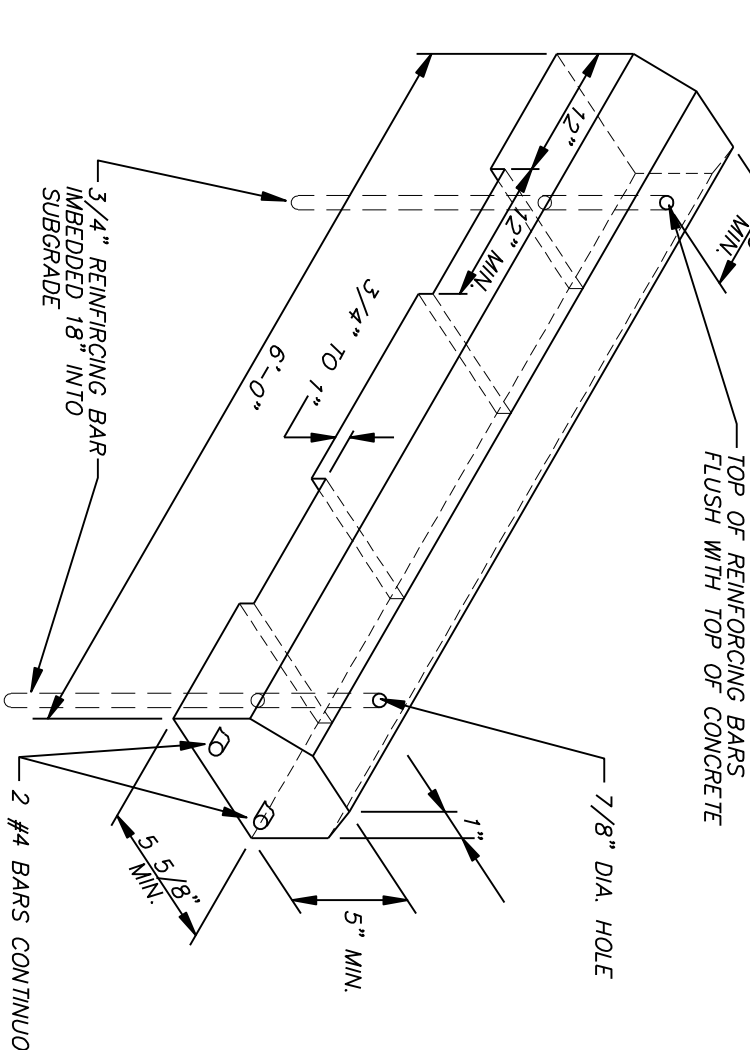


NOTES:

1. CURB AND GUTTER TO BE CONSTRUCTED IN 30-45 MINUTES.
2. CURB AND GUTTER TO BE CONSTRUCTED IN 30-45 MINUTES.
3. CURB AND GUTTER TO BE CONSTRUCTED IN 30-45 MINUTES.

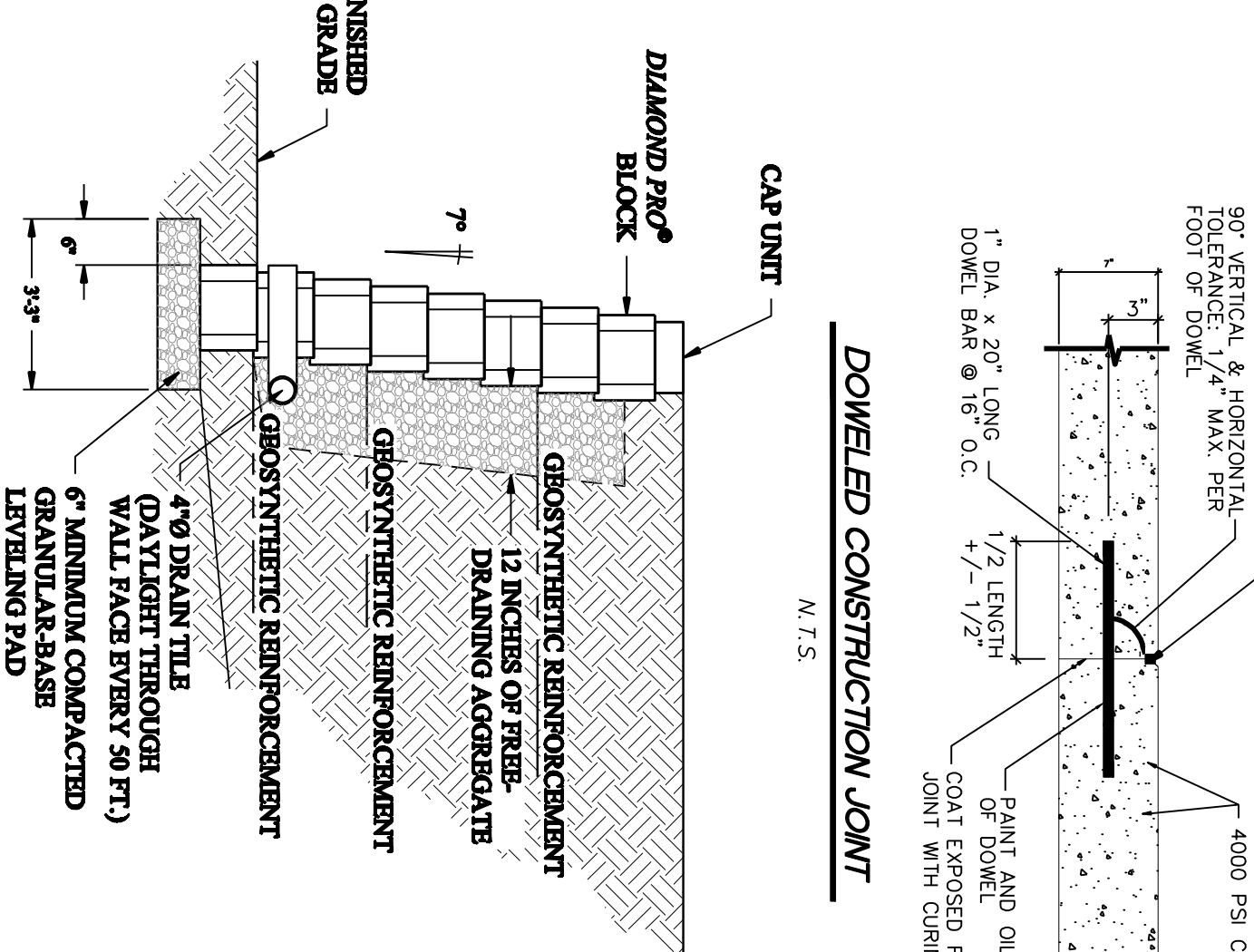
BARRIER TYPE CURB AND GUTTER

N.T.S.



WHEEL STOP DETAIL

(PRECAST CONCRETE)



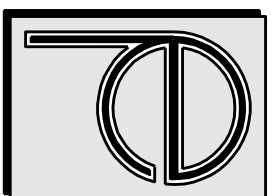
Anchor™ Diamond Pro® System

TYPICAL CROSS SECTION WITH REINFORCEMENT

SEGMENTAL RETAINING WALL DETAILS

N.T.S.

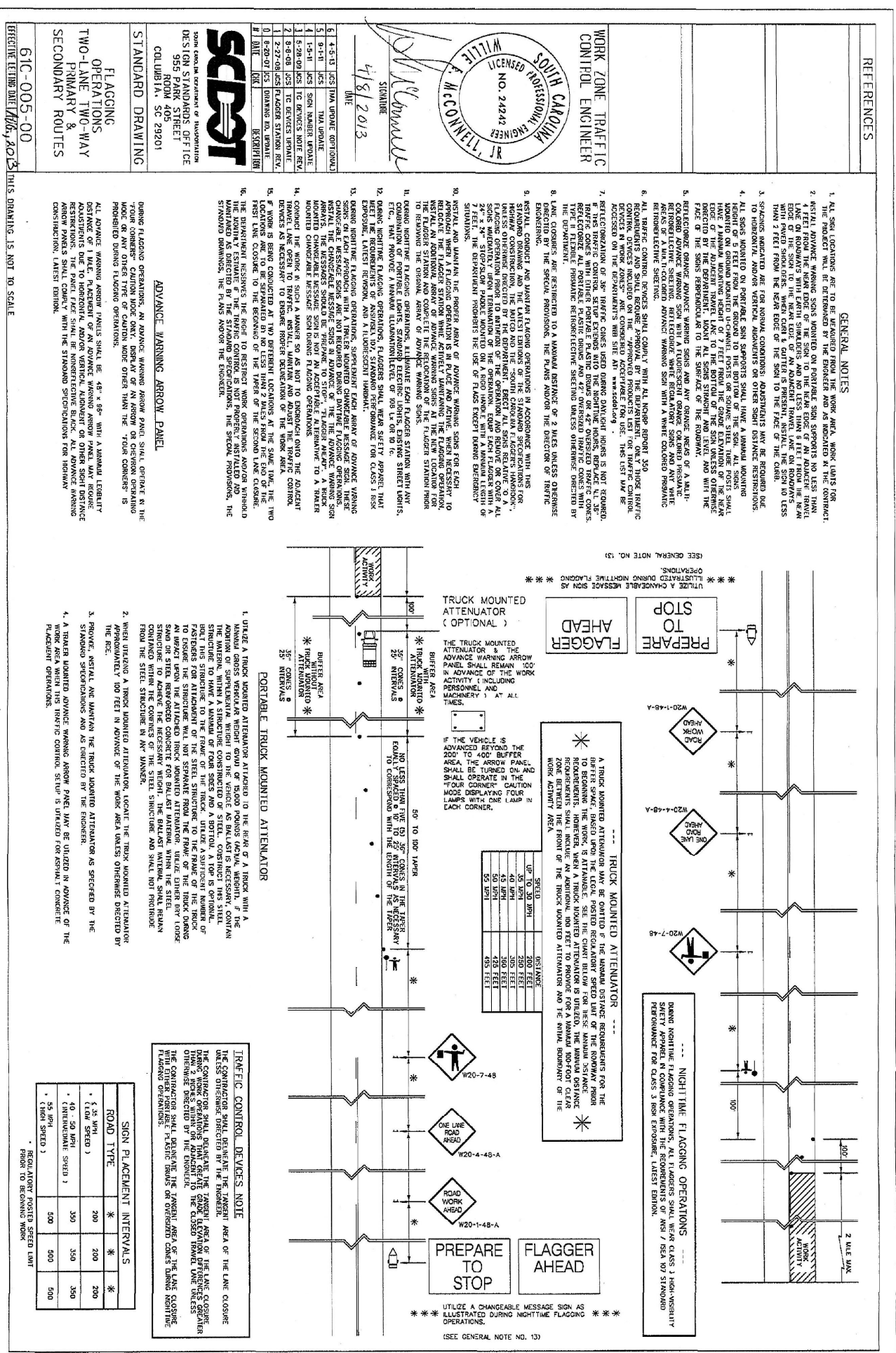
PROJECT NO. 1773.17 DATE 7.24.18 DRAWING NO. C7.3	DRAWING TITLE MISCELLANEOUS DETAILS	DRAWN BY: D.H.C. CHECKED BY: J.T.S.	REVISIONS NAME DATE	PROJECT TITLE TERMINIX CORPORATE OFFICE 3618 FERNANDINA ROAD COLUMBIA, SC 29210	ARE SEAL	ARE SEAL
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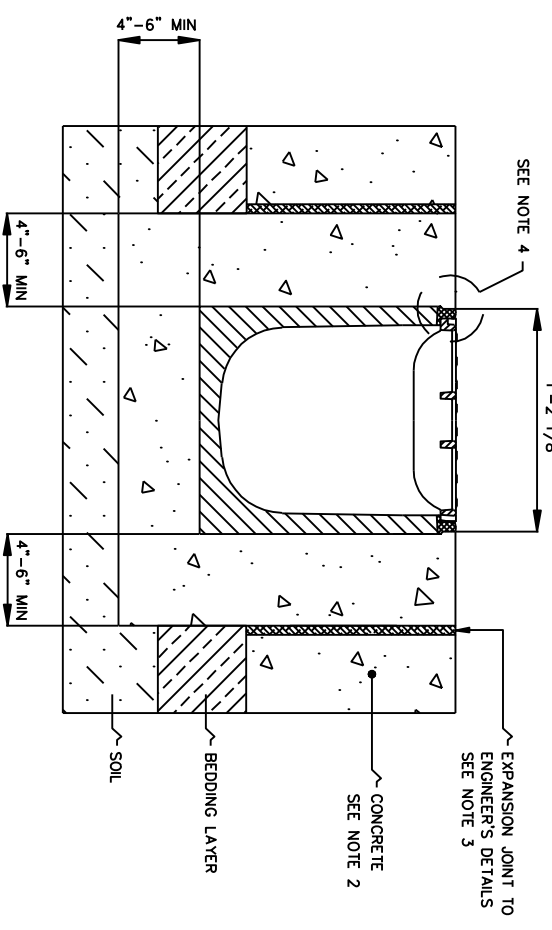
PREPARED BY
POWER ENGINEERING COMPANY, INC.
ENGINEERS - PLANNERS
2829 SUMMIT BLVD., SUITE 100
(853) 216-8577 (Fax) 216-8570



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1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

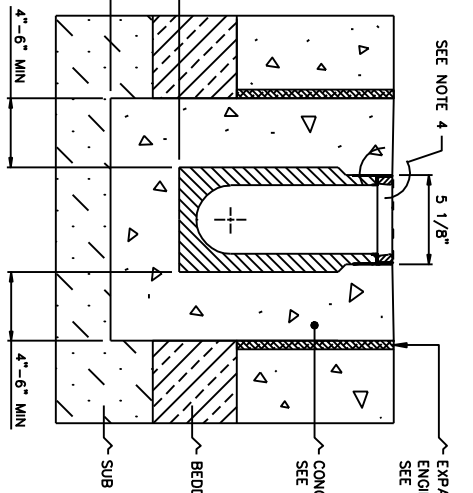


aco drain
INSTALLATION DRAWING
S300K: Load Class A-C: Concrete Finish
ACO Drainage Products Inc.
P.O. Box 216
Chardon, OH 44024
Tel: 440-285-8517
Fax: 440-285-8517
E-mail: sales@aco-drain.com
WWW.ACO-RAIN.COM



TRENCH DRAIN AT LOADING DOCK
(TRAFFIC RATED)

NOTES:
1. It is necessary to ensure the minimum penetration shown or greater for the loading ground conditions. Engineering advice may be required.
2. The trench drain must be installed in a concrete slab. The trench drain must be installed in a concrete slab. The trench drain must be installed in a concrete slab.
3. Refer to ACO's latest installation instructions for complete details.



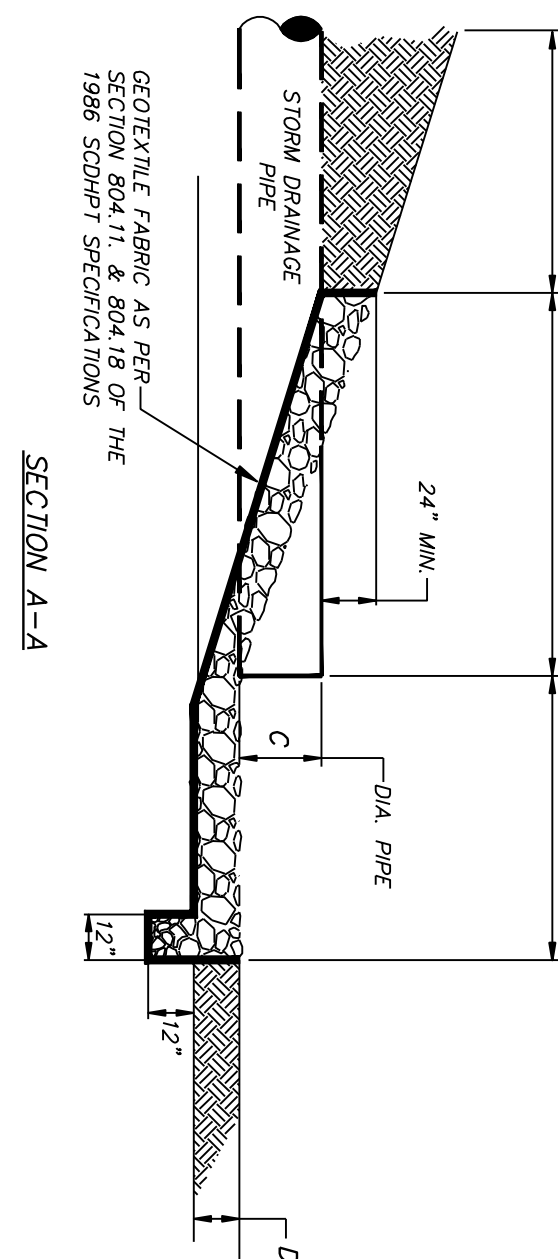
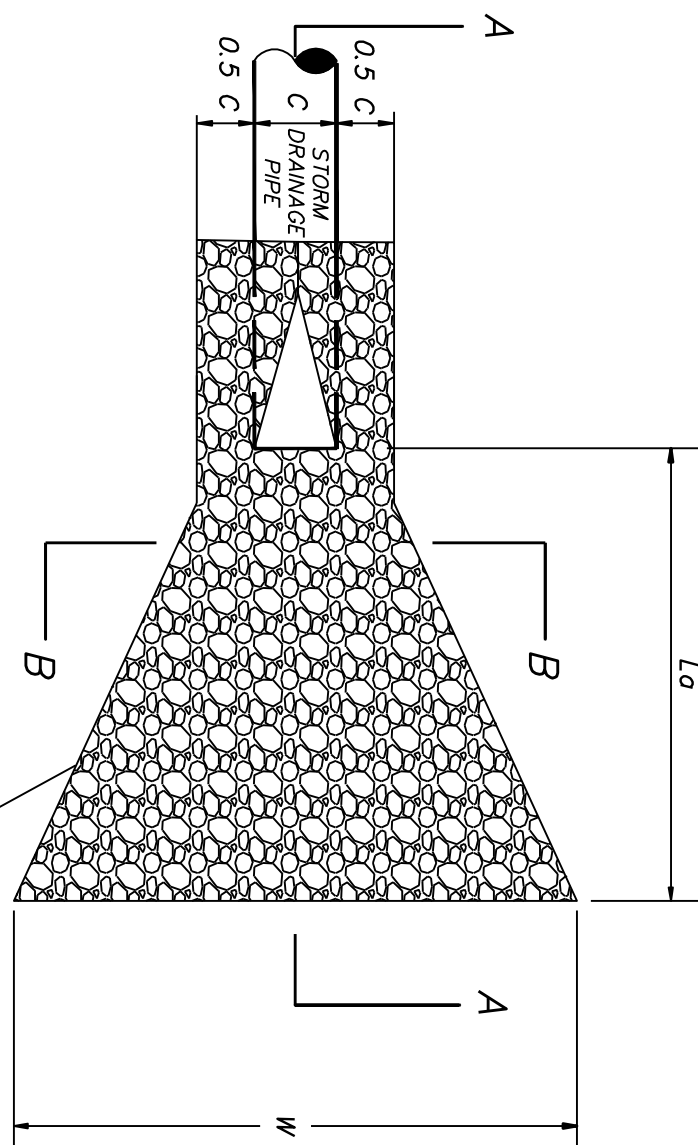
TRENCH DRAIN AT ENTRANCE SIDEWALK

aco drain
SPECIFICATION CLAUSE
S300K Trench Drain System
ACO Drainage Products Inc.
P.O. Box 216
Chardon, OH 44024
Tel: 440-285-8517
Fax: 440-285-8517
E-mail: sales@aco-drain.com
WWW.ACO-RAIN.COM

The trench drainage system shall be concrete S300K trench system with section size 12' x 12' as manufactured by ACO Drainage Products, Inc., Chardon, OH.
The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement. The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement. The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement.
The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement. The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement. The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement.

aco drain
SPECIFICATION CLAUSE
K100S Trench Drain System
ACO Drainage Products Inc.
P.O. Box 216
Chardon, OH 44024
Tel: 440-285-8517
Fax: 440-285-8517
E-mail: sales@aco-drain.com
WWW.ACO-RAIN.COM

The trench drainage system shall be concrete K100S trench system with section size 12' x 12' as manufactured by ACO Drainage Products, Inc., Chardon, OH.
The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement. The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement. The trench drain shall be constructed from precast concrete with an integral cast-in-place steel reinforcement.
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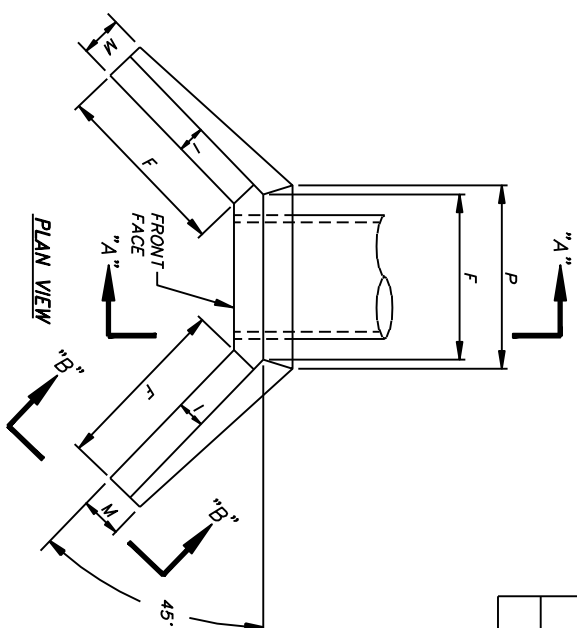
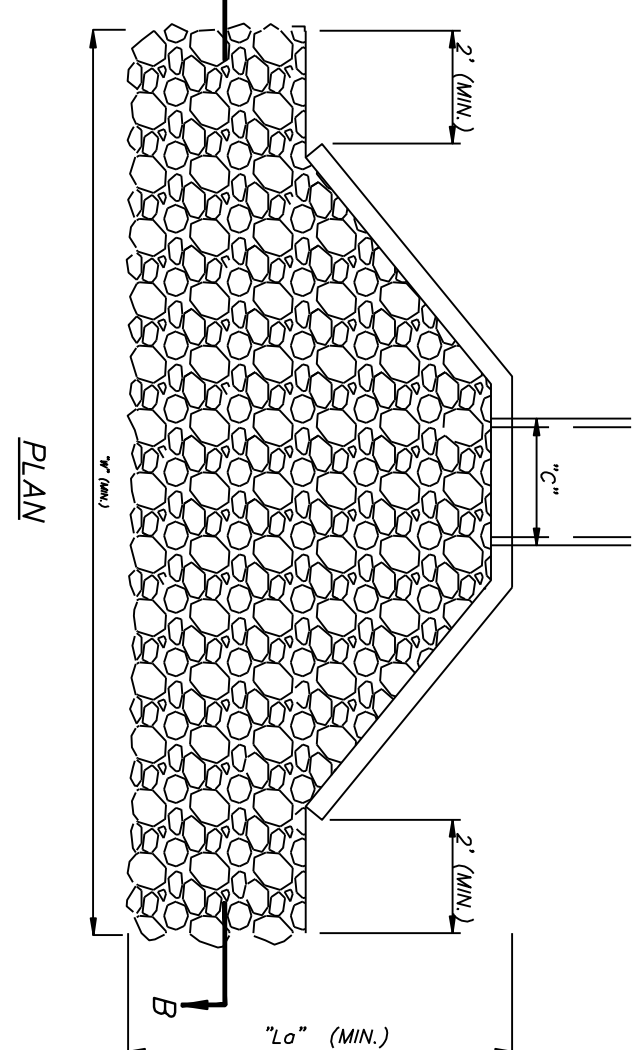


STRUCTURE	PIPE DIAMETER	L ₀	C	W	D	d(100)	d(150)	PIPE EXIT HEIGHT
SD-A1	24"	12.5	2.0	14.5	1.3	0.5	0.75	7" F.T.S.
SD-B1	15"	10.0	1.25	11.25	1.1	0.5	0.75	7" F.T.S.
SD-C1	15"	10.0	1.25	11.25	1.1	0.5	0.75	7" F.T.S.

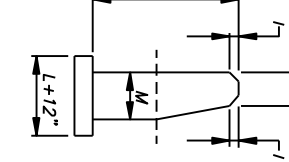
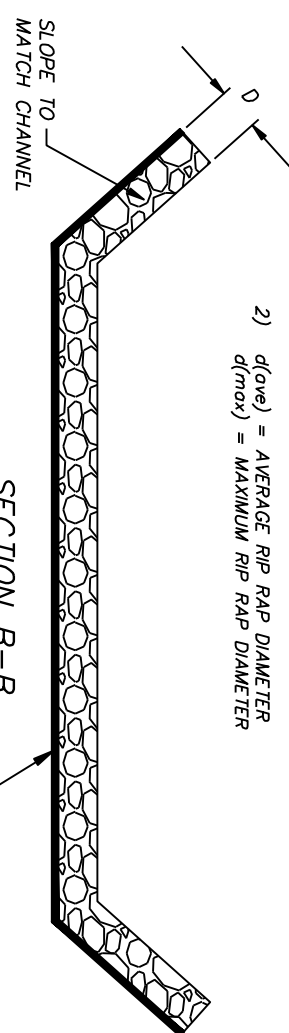
NOTES:
1. MINIMUM HEAD SPACE TO TOP OF DRAIN SHALL BE 12".
2. MINIMUM HEAD SPACE TO TOP OF DRAIN SHALL BE 12".
3. MINIMUM HEAD SPACE TO TOP OF DRAIN SHALL BE 12".

HP-RAP HEADWALL

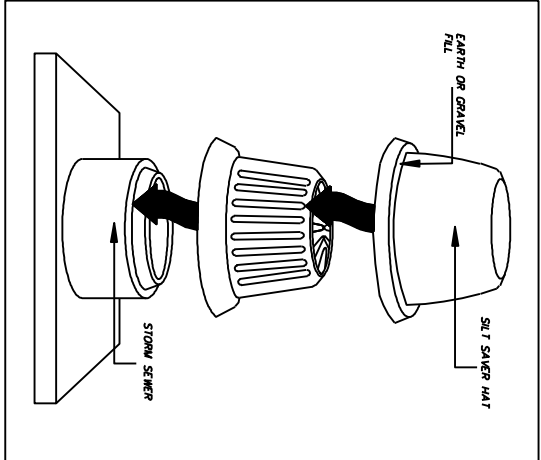
STRUCTURE	PIPE DIAMETER	L ₀	C	W	D	d(100)	d(150)	EXIT VEL. @ PIPE	EXIT VEL. @ HP-RAP
SD-A1	36"	30'	3.0	23.0	1.5	0.8	1.0	8.2 F.T.S.	2.4 F.T.S.



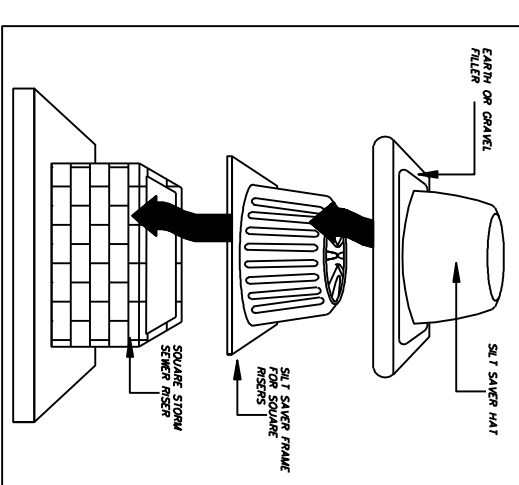
STRUCTURE	PIPE DIAMETER	L ₀	C	W	D	d(100)	d(150)	EXIT VEL. @ PIPE	EXIT VEL. @ HP-RAP
SD-A1	36"	30'	3.0	23.0	1.5	0.8	1.0	8.2 F.T.S.	2.4 F.T.S.



HEADWALL DETAIL FOR
PIES OVER 24" DIA.



THE PATENTED SL-SHAVER FILTER DESIGNED TO OF
NON-WOVEN POLYESTER, METAL PUNCHING AND
WAS CHOSEN FOR ITS ABILITY TO PROVIDE MAXIMUM
CONSISTENT AND CONTINUOUS FLOW UNDER
VARIABLE FLOW CONDITIONS. THE SL-SHAVER FILTER
PROVIDES A HIGH FLOW RATE OF 100 GPM/FT.
FLOW FOR THE UNEXPECTED FLOW EVENTS.



FOR PRODUCT INFORMATION CONTACT YOUR LOCAL DISTRIBUTOR OR SL-SHAVER, INC.
803.212.1032
WWW.SL-SHAVER.COM EMAIL: SALES@SL-SHAVER.COM

TYPE "D" INLET PROTECTION DETAIL

NOTE: TYPE "D" INLET PROTECTION TO BE USED PRIOR TO SITE STONE AND PAVEMENT PLACEMENT.

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HP-RAP APRON FOR HEADWALLS

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